

AGENDA
City of Hobbs Planning Board – Regular Meeting
April 16th, 2024 at 10:00 AM

W.M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larchinee Turner

Guy Kesner, Vice Chairman
Ben Donahue
Brett Clay

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, April 16th, 2024 at 10:00 AM, at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

Call To Order and Roll Call.

- 1) **Review and Consider Approval of Agenda.**
- 2) **Review and Consider Approval of Minutes.**

March 19th, 2024 – Regular Meeting

Communications from Citizens. (3-minute limit per citizen)

DISCUSSION ITEMS

- 3) **Review and Discuss the Proposed Subdivision for South 40 Master Plan and Unit 1 as presented by the owner. The property is located at Marland Street between Fourteenth Street and S. Landfill Road.**
- 4) **Review and Discuss the updated Master Plan for Trinity Estates and Sketch Plan of Unit 3.**
- 5) **Review and Discuss RV Park Proposal for Nuevo Amanecer RV Park located off of US Highway 62 just South of Willow Bend Villas.**
- 6) **Review and Discuss Proposal for an RV Park located off East Main Street. Proposal is for approximately 5 acres of land.**
- 7) **Review and Discuss an updated Water and Sewer Masterplan.**

ACTION ITEMS

- 8) **Review and Consider Plat Vacation and Dedication for roadway located in Carswell Addition Block 190 as submitted by owner, Lea County State Bank.**
- 9) **Review and Consider Preliminary Plan for Dedication Plat for Adell Drive located off Millen Drive East of Lovington Highway.**

Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9232.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

*Approved
Jay M. Gomez
posted Jay
L. Nummeyer
4-12-24*

**PLANNING BOARD REGULAR MEETING
MINUTES
MARCH 19, 2024**

The Hobbs Planning Board met on February 20, 2024, at 10:00 a.m. at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. Guy Kesner, Vice Chairman, presiding.

Members Present:

Guy Kesner, Vice Chairman
Brett Clay
Bill Ramirez
Ben Donahue
Larchinee Turner

Members Absent

Brett Drennan
W.M. "Tres" Hicks, Chairman

Also present were members of the public and City staff as follows:

Todd Randall, City Engineer
Anthony Henry, Deputy City Engineer
Bruce Reid, Lea County Planner
3 Citizen(s)

Kristalyn Seepersad, Project Manager
April Hargrove, Engineering Assistant

Call to Order and Roll Call

Ms. April Hargrove, Engineering Assistant, did a roll call for members as follows:

Mr. Ramirez-yes, Ms. Turner-yes, Mr. Kesner-yes, Mr. Drennan-absent, Mr. Clay-yes, Mr. Donahue-yes, and Mr. Hicks-absent. There were five members present at the meeting.

Mr. Kesner called the meeting to order at 10:00 a.m.

1.) Review and Consider Approval of Agenda

The first item of business was to review and approve the agenda for the March, 2024 meeting. Mr. Kesner asked if there were any additions or changes to the agenda. Mr. Randall stated there were no changes to the agenda. Mr. Ramirez made a motion, seconded by Ms. Turner to approve the agenda as presented. The vote on the motion was 5-0 and the motion carried.

2.) Review and Consider Approval of Minutes

Mr. Kesner asked if everyone had a chance to read the Regular Meeting Minutes from February 20, 2024. Mr. Donahue made a motion, seconded by Mr. Ramirez to approve the Regular Meeting Minutes as presented. The vote was recorded as follows: Ramirez yes, Kesner yes, Clay yes, Donahue yes, Turner yes, Drennan absent, Hicks absent. The vote on the motion was 5-0 and the motion carried.

Communications from Citizens

There were no communications from citizens.

Action Items

3) Review and Consider Proposed Annexation of land located east of Zia RVillas and south of W De Baca Street.

Mr. Randall stated this is a proposed annexation of land located east of Zia RVillas and south of W. De Baca Street. Mr. Randall stated Zia RVillas is requesting to annex parcel A, and the City does not object to it. The annexation would involve extending city water infrastructure into the new unit, and a new access road will be built to connect back to De Baca, as there is currently only one access point. Mr. Randall mentioned the City can consider annexing up to 99% of the total area, which amounts to about 19.09 acres. Mr. Randall recommended to the Board to annex a majority of it. He stated the water utility infrastructure only serves water.

In response to Mr. Kesner's question about what roads will be annexed, Mr. Randall stated anytime the City does an annexation the adjacent roadways have to be incorporated.

Mr. Kesner asked if there is any business activity that transpires on that lot that would make it useful to the City. Mr. Randall stated he is not aware of any business activity. He mentioned that previously there was potential for various activities on a particular piece of property, but with the changes introduced by HB6, there might be alterations in the points of service and material delivery destinations. Mr. Randall explained the trucking companies or associations adjust their routes based on these changes, which could impact where taxes are applied (specifically Gross Receipts Tax - GRT) depending on the destination of the service. He stated these changes affect the decision to annex the area being discussed.

Mr. Randall discussed the impact of annexing the area. He stated the City would take on responsibility for maintaining the roads. He stated one of the conditions for the annexation is the extension of water infrastructure to the area, which could create the potential for new business activities and generate Gross Receipts Tax (GRT) revenue for the City. Mr. Randall mentioned that the development plans involve utilizing about 75% of the site for development.

In response to Ms. Kesner's question, Mr. Randall stated that because it is commercial they would contract directly with Waste Management for solid waste collection. He also mentioned that the RV Park is currently on a lift station. Mr. Randall stated they could use the existing lift station or would have to build a second one, which would be private infrastructure. He also mentioned the possibility of extending Truckline F to serve that area.

There being no further discussion, Mr. Ramirez made a motion to approve the Annexation of land located east of Zia RVillas and South of W. De Baca Street, seconded by Ms. Turner. The vote on the motion was 5-0 and the motion carried.

- 4) **Review and Consider Final Preliminary Plan for College Square Subdivision with a Cash Bond Security (\$12,500) for those improvements not finalized, located northwest of the intersection of College Lane and Grimes St., as submitted by property owner, Lemke Development, Inc.**

Mr. Randall stated this is the final preliminary plan for College Square Subdivision, located northwest of the intersection of College Lane and Grimes St. He stated the subdivision will contain 50 single-family residential lots. Mr. Randall stated the municipality is in receipt of an Engineer of Record stating the development is nearly complete except for one issue regarding the type of curb stops where the water meters are installed. He further stated Mr. Lemke, the property owner, already deposited \$12,500.00 cash bond security for the 50 curb stops. Mr. Randall stated it is preferred that these be corrected today to avoid having the Utilities Department replace them later on. He stated the issue is minor, as it pertains to the type of curb stops specified versus those installed, which are not the locking type.

Mr. Randall stated with the approval of the subdivision, the Planning Board is approving any security associated with work that hasn't been completed. This approval allows the developer to proceed with the plan, backed by the bond for improvements. In response to Mr. Ramirez's question, Mr. Randall stated all utilities have been buried underground, and the infrastructure is in place, including water infrastructure and streets. The only pending task is the installation of streetlights, which is awaiting Xcel Energy to complete the electrical work.

Mr. Clay made a motion to approve the Final Preliminary Plan for College Square Subdivision with a Cash Bond Security (12,500.00) for those improvements not finalized, seconded by Mr. Ramirez. The vote on the motion was 5-0 and the motion carried.

Adjournment

With nothing further to discuss Mr. Donahue made a motion, seconded by Mr. Ramirez to adjourn. The meeting adjourned at 10:30 a.m. The vote on the motion was 5-0 and the motion carried.

Guy Kesner, Vice Chairman

DISCUSSION ITEM 3: SOUTH 40 MASTERPLAN AND UNIT 1



Engineering | Surveying
Materials Testing

7921 N. World Dr.
Hobbs, NM 88242
Squarerootservices.net
575-231-7347

ENGINEERING SHEET:
**PROPOSED
WATER AND SEWER**

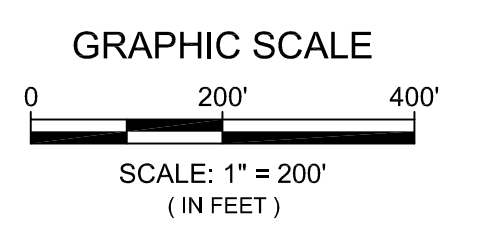
FOR
**SOUTH FORTY
SUBDIVISION**

FOR
CLIENT:
YOUNGS HOMES

PROJECT NUMBER:
22050

PROJECT ENGINEER:
Jeremy Baker, PE

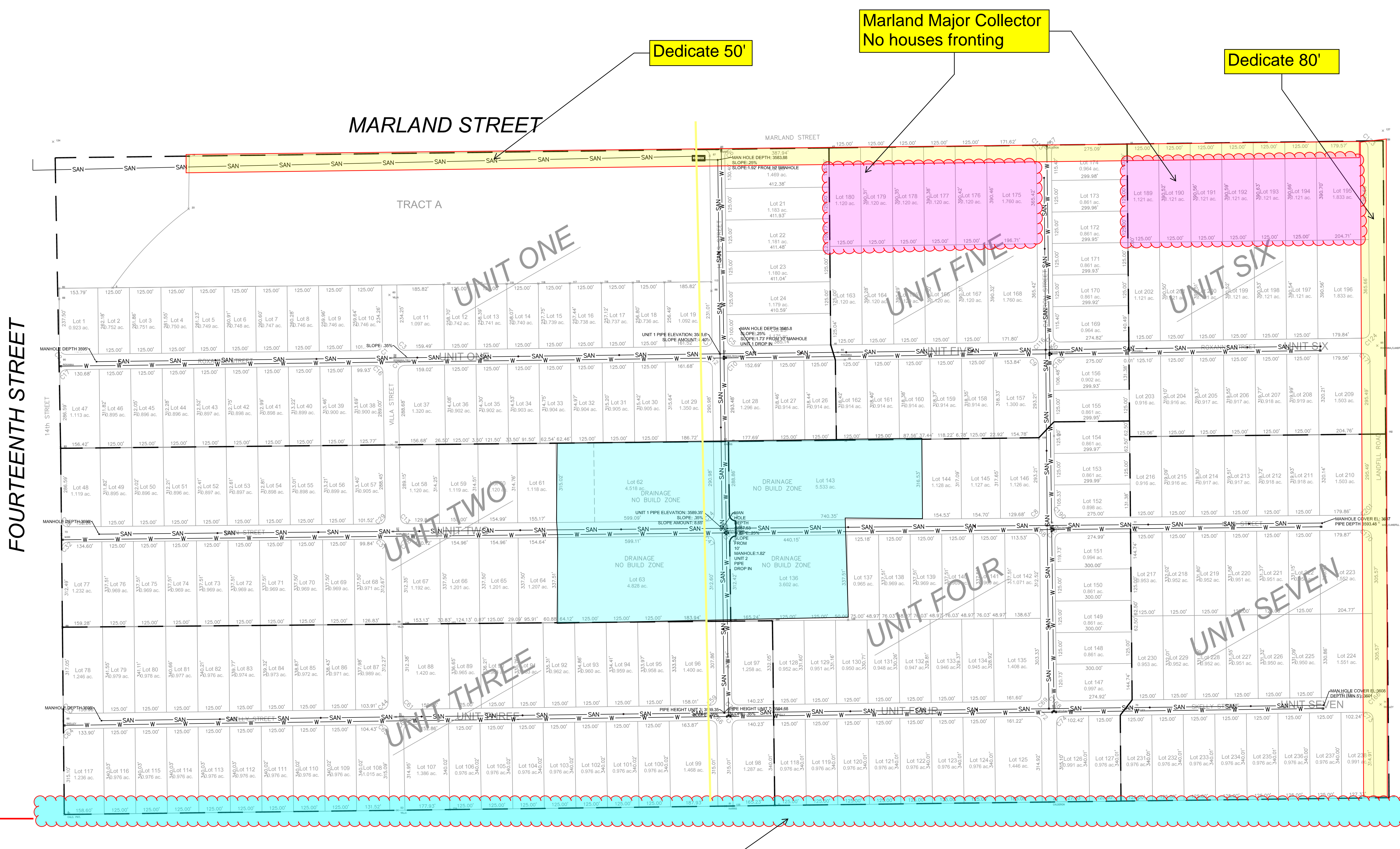
DRAWN BY:
CARLOS JIMENEZ



REVISIONS		
No.	DATE	DESCRIPTION

PRELIMINARY

SHEET:
3 of 7
CU- 101



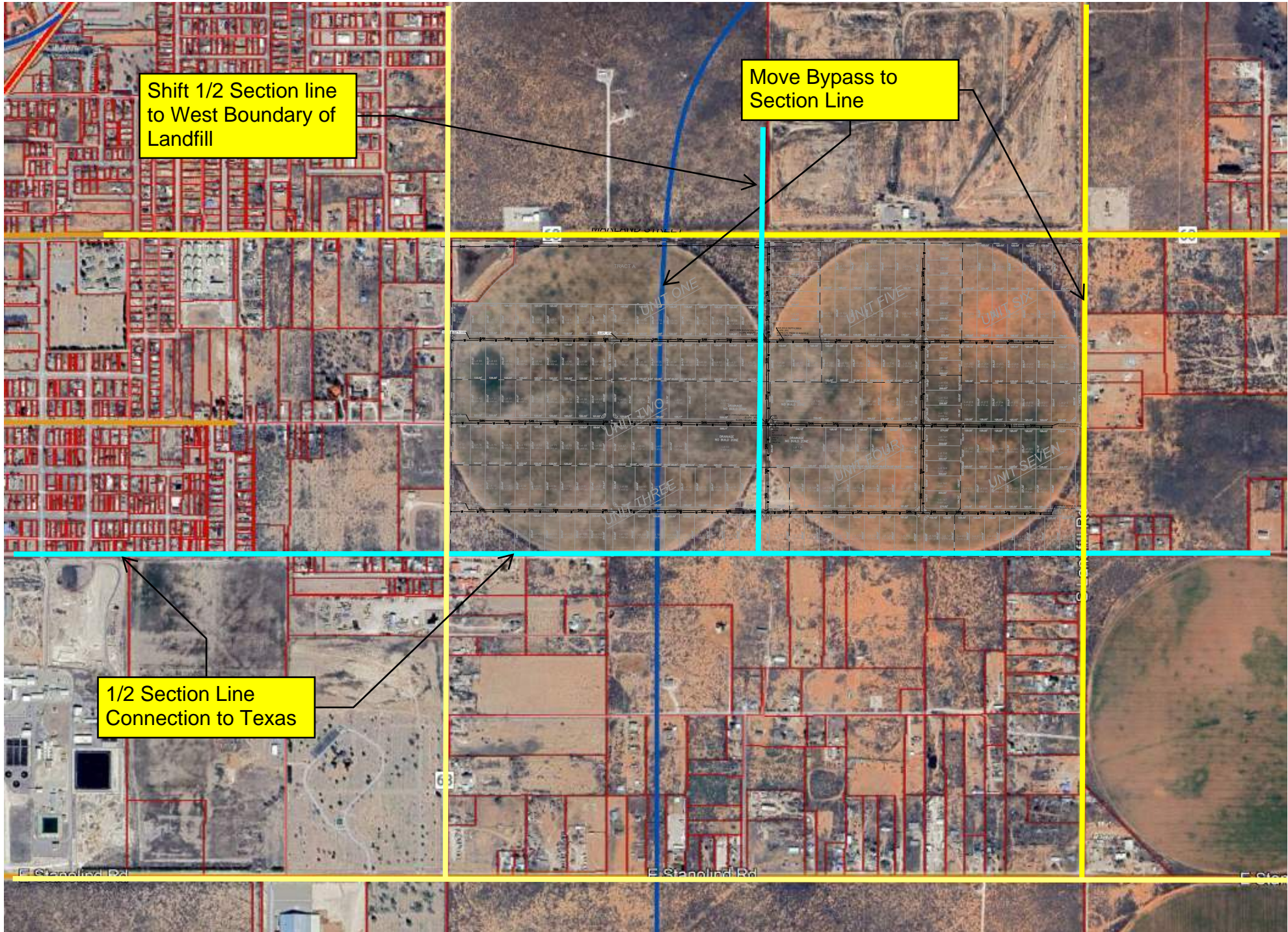
Dedicate 50'

**Marland Major Collector
No houses fronting**

Dedicate 80'

**Future Texas
St Connection**

**1/2 Section Line
Min. require 60'
easement for
future roadway
construction**



Shift 1/2 Section line to West Boundary of Landfill

Move Bypass to Section Line

1/2 Section Line Connection to Texas

UNIT ONE

UNIT TWO

UNIT THREE

UNIT FIVE

UNIT FOUR

UNIT SIX

UNIT SEVEN

MIDLAND STREET

E Signalled Rd

E Signalled Rd

E Signalled Rd

63

63

63

63

63

63

63

63

1. Outside City Limits
2. Loop Water Line? If yes, City Participation
3. Fire Hydrant spacing (Max 600')
4. County road section
5. Lift station location - TBD
6. MH spacing (Max 400')
7. Water lines Min. 8"
8. Water valves spacing (Max 800')



Engineering | Surveying
Materials Testing

7921 N. World Dr.
Hobbs, NM 88242
Squarerootservices.net
575-231-7347

ENGINEERING SHEET:

FOR

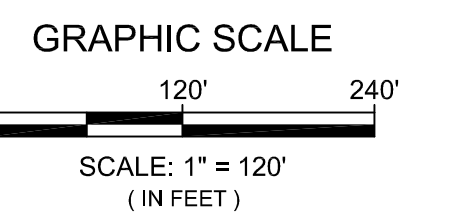
PROJECT NAME:
**UNIT ONE
WATER AND SEWER**

FOR

CLIENT:
YOUNGS HOMES

PROJECT NUMBER:
22050

PROJECT ENGINEER:
Jeremy Baker, PE
DRAWN BY:
CARLOS JIMENEZ



REVISIONS

No.	DATE	DESCRIPTION

PRELIMINARY

SHEET:
3 of 7
CU-101

MARLAND STREET

12" Water Line
Possible
Development
Agreement

TRACT A

UNIT ONE

UNIT FIVE

FOURTEENTH STREET

Existing 10" Water

Existing 6" Water

Extend this line

Question:
Do we need the 1/4
roadway looped with
water?

MAN HOLE DEPTH: 3583.88
SLOPE: 25%
SLOPE: 1.92' FROM 10' MANHOLE

MAN HOLE DEPTH 3585.8
SLOPE: 25%
SLOPE: 1.73' FROM 10' MANHOLE
UNIT 1 DROP IN

UNIT 1 PIPE ELEVATION: 3596.6'
SLOPE AMOUNT: 8.40'

SLOPE: 35%

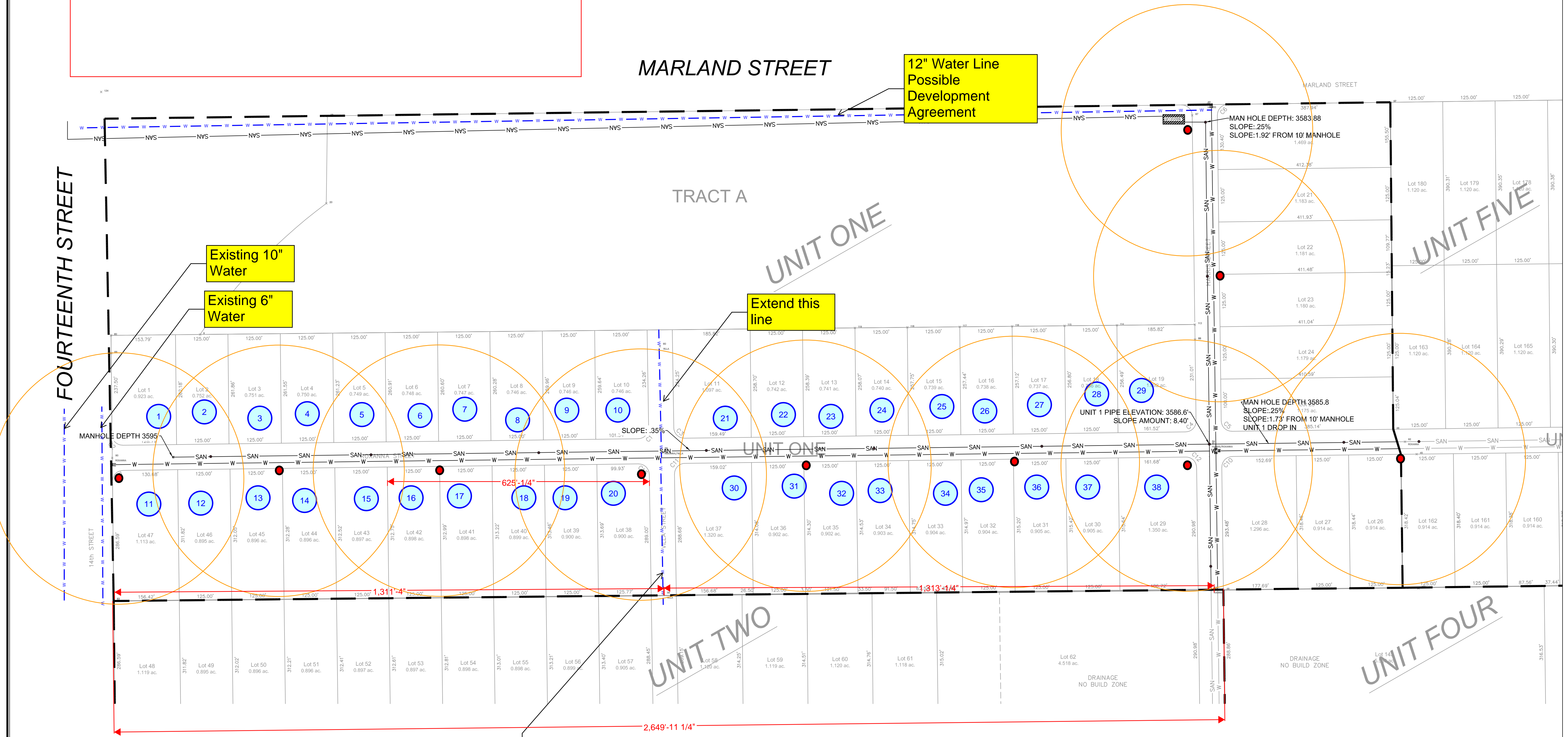
625'-1/4"

UNIT TWO

UNIT FOUR

DRAINAGE
NO BUILD ZONE

DRAINAGE
NO BUILD ZONE



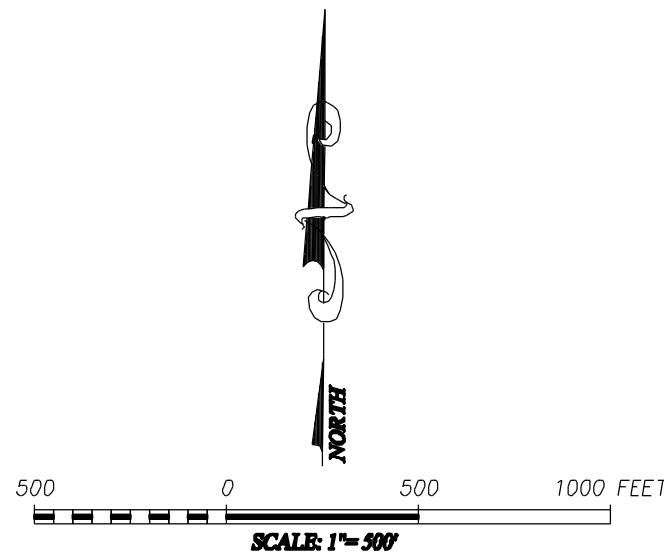
NOTE:

THE PURPOSE OF THIS PLAT IS TO CREATE THREE TRACTS OF LAND.

BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.

LEGEND:

- ⊙ - DENOTES SET 1/2" STL. ROD W/CAP MARKED "JWSC P.S. 12641" UNLESS NOTED OTHERWISE
- ⊙ - DENOTES FOUND CORNER AS NOTED
- ⊙ - DENOTES CALCULATED CORNER
- - DENOTES PROPOSED RIGHT-OF-WAY CENTERLINE



**LEA COUNTY SUMMARY SUBDIVISION AND
CITY OF HOBBS SUMMARY SUBDIVISION FOR THE HOBBS EAST BY-PASS
SITUATED IN SECTION 1, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M.
LEA COUNTY, NEW MEXICO**

THE FOREGOING SUBDIVISION OF THAT TRACT OF LAND DESCRIBED BY WARRANTY DEED RECORDED IN BOOK 1453, PAGE 289 OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO, SITUATED IN THE S/2 OF SECTION 1, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO INTO THREE PARCELS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL "A"

BEGINNING AT THE NORTHWEST CORNER SAID SECTION 1 FOR THE NORTHWEST CORNER OF THIS PARCEL, THEN N89°15'54"E ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1650.60 FEET; THEN S00°34'14"E A DISTANCE OF 2642.66 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION; THEN S89°16'26"W ALONG SAID SOUTH LINE OF THE NORTH HALF A DISTANCE OF 1650.44 FEET TO THE WEST QUARTER CORNER OF SAID SECTION; THEN N00°34'26"W ALONG THE WEST LINE OF SAID SECTION A DISTANCE OF 2642.40 FEET TO THE POINT OF BEGINNING AND CONTAINING 100.13 ACRES MORE OR LESS.

PARCEL "B"

BEGINNING AT THE NORTHWEST CORNER OF THIS PARCEL, WHICH LIES N89°15'54"E ALONG THE NORTH LINE OF SAID SECTION 1 A DISTANCE OF 1650.60 FEET FROM THE NORTHWEST CORNER OF SAID SECTION, THEN N89°15'54"E ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 160.00 FEET; THEN S00°34'14"E A DISTANCE OF 2642.69 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION; THEN S89°16'26"W ALONG SAID SOUTH LINE OF THE NORTH HALF A DISTANCE OF 160.00 FEET; THEN N00°34'14"W A DISTANCE OF 2642.66 FEET TO THE POINT OF BEGINNING AND CONTAINING 9.71 ACRES MORE OR LESS.

PARCEL "C"

BEGINNING AT THE NORTHWEST CORNER OF THIS PARCEL, WHICH LIES N89°15'54"E ALONG THE NORTH LINE OF SAID SECTION 1 A DISTANCE OF 1810.60 FEET FROM THE NORTHWEST CORNER OF SAID SECTION, THEN N89°15'54"E ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 831.20 FEET TO THE NORTH QUARTER CORNER; THEN N89°15'35"E ALONG SAID NORTH LINE A DISTANCE OF 2641.68 FEET TO THE NORTHEAST CORNER OF SAID SECTION; THEN S00°31'14"E ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 2643.49 FEET TO THE EAST QUARTER CORNER OF SAID SECTION; THEN S89°16'26"W ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION A DISTANCE OF 3470.57 FEET; THEN N00°34'14"W A DISTANCE OF 2642.69 FEET TO THE POINT OF BEGINNING AND CONTAINING 210.65 ACRES MORE OR LESS.

SAID TRACT BEING SUBDIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF SURVEYED AND SUBDIVIDED ACCORDING TO THE TRACTS AS THEY APPEAR ON THE PLAT AFFIXED HEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER OF SAID TRACT, HAVE HEREUNTO SET HIS HAND THIS ____ DAY OF _____, 2009.

Move Bypass to Section Line
Need 160' or 80'?

Large Electrical Transmission Line

OWNER: KEVIN LOVE

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF LEA)

ON THIS ____ DAY OF _____, 2009, BEFORE ME PERSONALLY APPEARED KEVIN LOVE, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL

I, JOE DEARING, THE DULY APPOINTED CITY PLANNER FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS ____ DAY OF _____, 2009.

JOE DEARING, CITY PLANNER

ATTEST: _____
JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF LEA)

AS THEIR FREE ACT AND DEED ON THIS ____ DAY OF _____, 2009, BEFORE ME PERSONALLY APPEARED JOE DEARING AND JAN FLETCHER, TO ME KNOWN TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

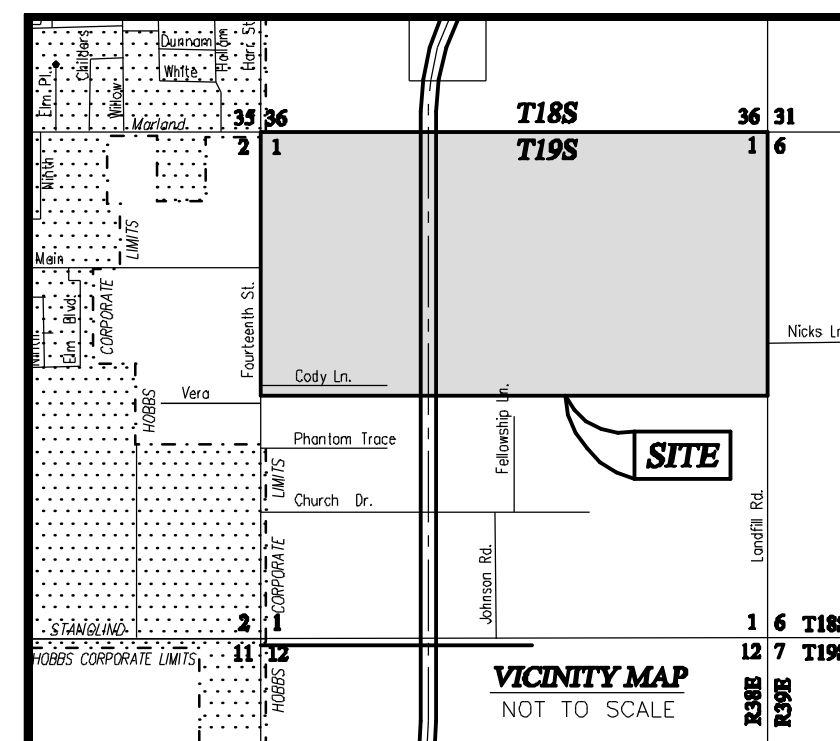
NOTARY PUBLIC

PRELIMINARY

SURVEYORS CERTIFICATE

I, GARY C. EIDSON, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

IN WITNESS WHEREOF I HEREUNTO SET HAND AND AFFIX MY OFFICIAL SEAL THIS ____ DAY OF _____, 2009.



PROVIDING SURVEYING SERVICES SINCE 1946
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO
HOBBS, N.M. 88240
(575) 393-3117

Donna Summary Subdivision (2008) 08111588 City of Hobbs - By-Pass (08111588_love.dwg 4/1/09)

**STATE OF NEW MEXICO
COUNTY OF LEA
FILED**

_____, 2009
at _____ o'clock _____ M
and recorded in Book _____
Page _____
Pat Snipes Chappelle, Lea County Clerk
By _____ Deputy



8.4 HYDRANTS

8.4.1 Location and Spacing

Hydrants should be provided at each street intersection and at intermediate points between intersections as recommended by the state Insurance Services Office and local fire fighting authorities. Generally, hydrant spacing may range from 350 to 600 feet depending on the area being served.

8.4.2 Valves and Nozzles

The local fire fighting authority should be contacted to determine the proper fire hydrant type, size, number of connections, connection sizes, and threading on fire hydrant nozzles.

8.4.3 Hydrant Leads

The hydrant lead should be a minimum of six inches in diameter, unless otherwise required by the local fire fighting authority. Auxiliary valves should be installed in all hydrant leads of the size and type required by the local fire fighting authority.

8.4.4 Drainage

Where hydrant drains are not plugged, a gravel pocket or dry well should be provided. Hydrant drains should not be connected to or located within 10 feet of sanitary sewers or storm drains.

8.5 AIR RELIEF VALVES; VALVE, METER AND BLOW-OFF CHAMBERS

8.5.1 Air Relief Valves

At high points in water mains where air can accumulate provisions should be made to remove the air by means of air relief valves. Automatic air relief valves should not be used in situations where flooding of the manhole or chamber may occur.

8.5.2 Air Relief Valve Piping

The open end of an air relief pipe from automatic valves should be extended to at least one foot above grade and be provided with a screened, downward-facing elbow. The pipe from a manually operated valve should be extended to the top of the pit.

8.5.3 Vault Drainage

Vaults, pits or manholes containing valves, blow-offs, meters, or other such appurtenances to a distribution system, should not be connected directly to any storm drain or sanitary sewer, nor should blow-offs or air relief valves be connected directly to any sewer. Such vaults or pits should be drained to the surface of the ground where they are not subject to flooding by surface water, or to absorption pits (gravel pockets) underground.



8.2.3 Diameter

The minimum size of water main for providing fire protection and serving fire hydrants is six (6) inch diameter. Larger size mains are required if necessary to allow the withdrawal of the required fire flow while maintaining the minimum residual pressure specified in Part 8.2.2.

8.2.4 Fire Protection

When fire protection is to be provided, system design should be such that fire flows and facilities are in accordance with the requirements of the state Insurance Services Office and the local fire fighting authority.

8.2.5 Small Mains for Domestic Service

The minimum size of water main in the distribution system where fire protection is not to be provided should be four (4) inch in diameter. Any departure from minimum requirements should be justified by hydraulic analysis and future water use, and be considered and approved by NMED.

8.2.6 Hydrants

Water mains not designed to carry fire-flows should not have fire hydrants connected to them.

8.2.7 Dead Ends

- a. In order to provide increased reliability of service and reduce head loss, dead ends should be minimized by making appropriate tie-ins whenever practical.
- b. Where dead-end mains occur, they should be provided with a fire hydrant if flow and pressure are sufficient, or with an approved flushing hydrant or blow-off for flushing purposes. Flushing devices should be sized to provide flows which give a velocity of at least 3.0 feet per second in the water main being flushed. No flushing device should be directly connected to any sewer.

8.2.8 Water Velocity

Water mains should be designed to provide an average velocity not more than five (5) feet per second (fps) under the Maximum Day Demand flow.

8.3 VALVES

Sufficient valves should be provided on water mains so that inconvenience and sanitary hazards are minimized during repairs. Valves should be located at not more than 500 foot intervals in commercial districts and **at not more than one block or 800 foot intervals in other districts.** Where systems serve widely scattered customers and where future development is not expected, the valve spacing should not exceed one mile.



34. MANHOLES

34.1 LOCATION

Manholes will be installed: at the end of each line; at all changes in grade, size, or alignment; at all intersections; and at distances not greater than 400 feet (120 m) for sewers 15 inches (375 mm) or less, and 500 feet (150 m) for sewers 18 inches (450 mm) to 30 inches (750 mm). Distances up to 600 feet (185 m) may be approved in cases where adequate modern cleaning equipment for such spacing is provided. Greater spacing may be permitted in larger sewers. Cleanouts may be used only for special conditions and will not be substituted for manholes nor installed at the end of laterals greater than 150 feet (45 m) in length.

34.2 DROP TYPE

A drop pipe will be provided for a sewer entering a manhole at an elevation of 24 inches (610 mm) or more above the manhole invert. Where the difference in elevation between the incoming sewer and the manhole invert is less than 24 inches (610 mm), the invert will be filleted to prevent solids deposition.

Drop manholes will be constructed with an outside drop connection. Inside drop connections (when necessary) will be secured to the interior wall of the manhole and provide access for cleaning.

Due to the unequal earth pressures that will result from the backfilling operation in the vicinity of the manhole, the engineer will evaluate soil conditions and determine whether the entire outside drop connection will be encased in concrete.

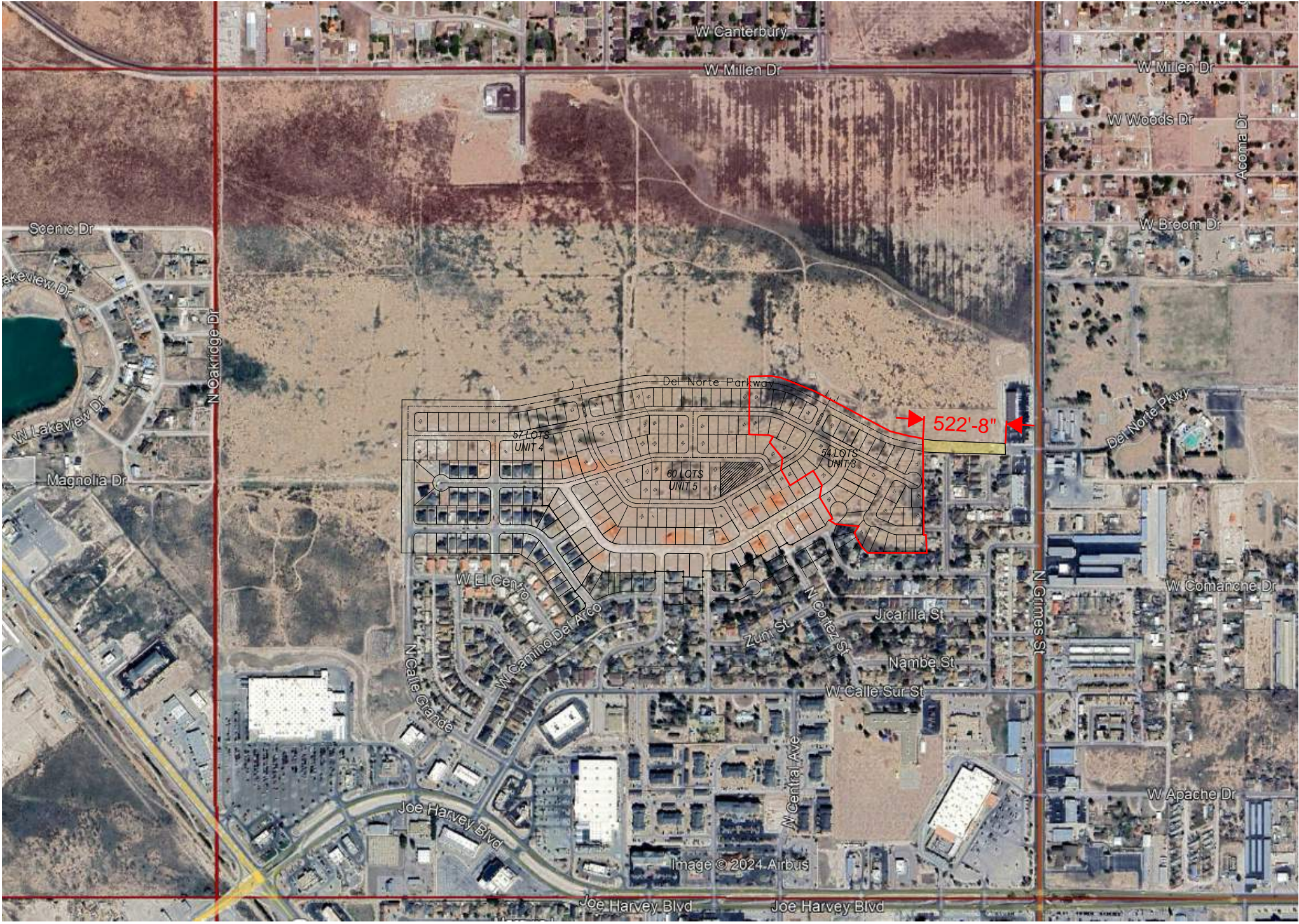
34.3 DIAMETER

The minimum diameter of manholes will be 48 inches (1.2 m); larger diameters are preferable for large diameter sewers. A minimum access diameter of 22 inches (560 mm) will be provided.

34.4 FLOW CHANNEL

The flow channel straight through a manhole will be made to conform as closely as possible in shape, and slope to that of the connecting sewers. The channel walls will be formed or shaped to the full height of the crown of the outlet sewer in such a manner to not obstruct maintenance, inspection or flow in the sewers.

DISCUSSION ITEM 4: TRINITY ESTATES MASTER PLAN AND UNIT 3 SKETCH



W Canterbury

W Millen Dr

W Millen Dr

W Woods Dr

Acoma Dr

W Broom Dr

Scene Dr

W Lakeview Dr

N Oakridge Dr

Magnolia Dr

Del Norte Parkway

522'-8"

Del Norte Pkwy

57 LOTS
UNIT 4

60 LOTS
UNIT 5

54 LOTS
UNIT 6

W El Centro

N Calle Grande

W Camino Del Arco

Zuni St

N Cortez St

Jicarilla St

Namba St

W Calle Sur St

N Grimes St

W Comanche Dr

Joe Harvey Blvd

W Central Ave

W Apache Dr

Joe Harvey Blvd

Joe Harvey Blvd

Image © 2024 Airbus

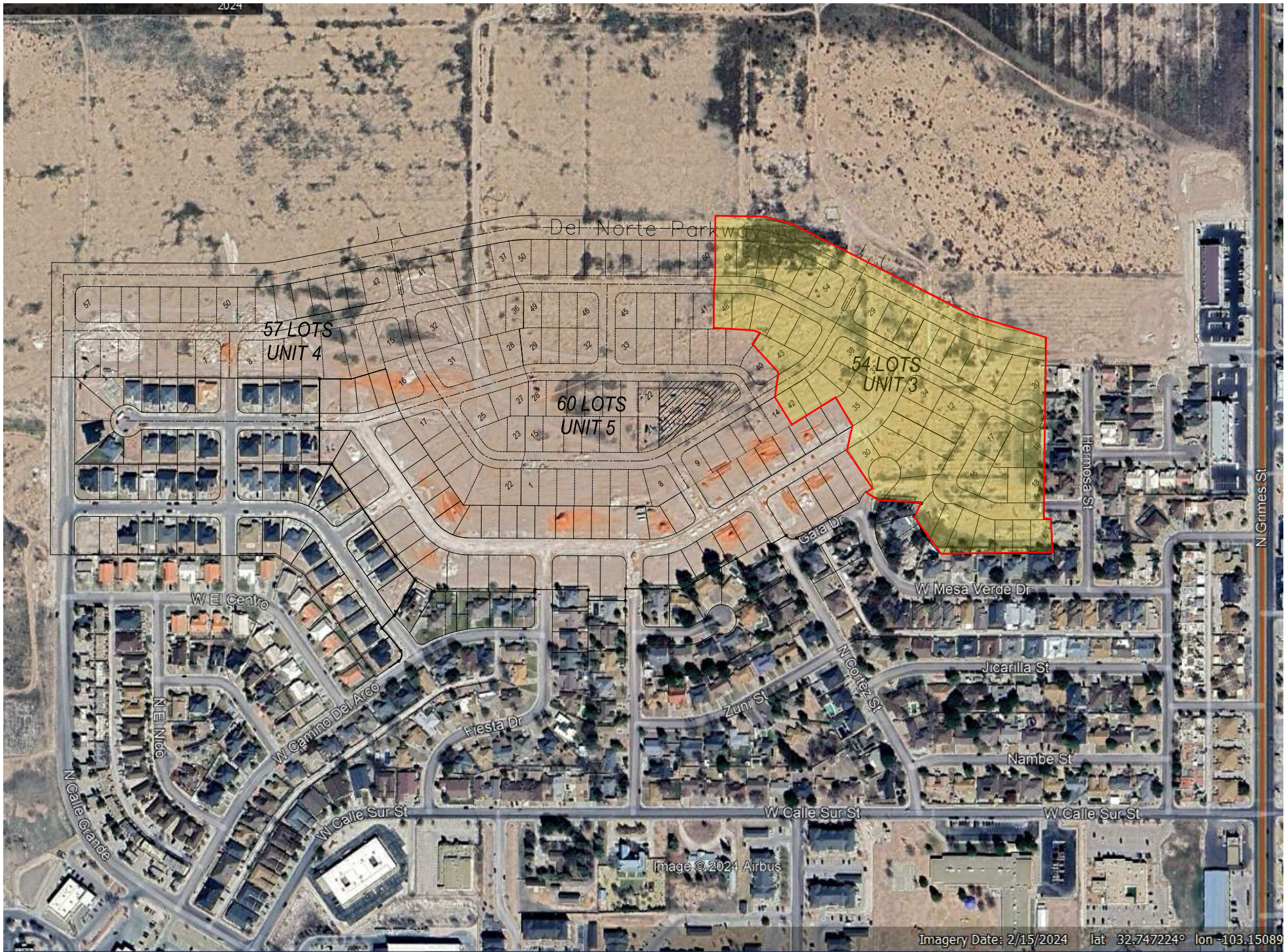
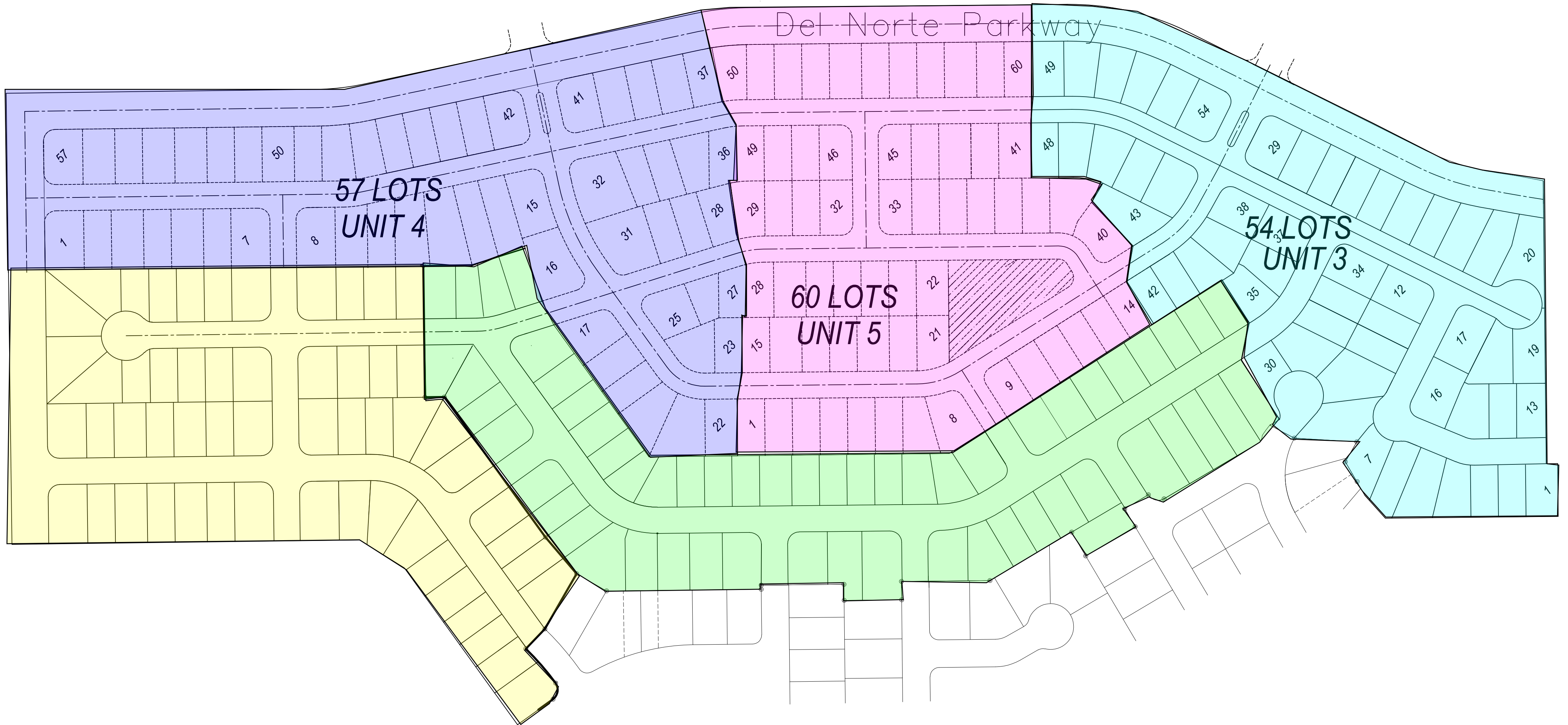


Image © 2024 Airbus



DISCUSSION ITEM 5: NUEVO AMANECER RV PARK PROPOSAL

MARLAND MOBILE HOME PARK

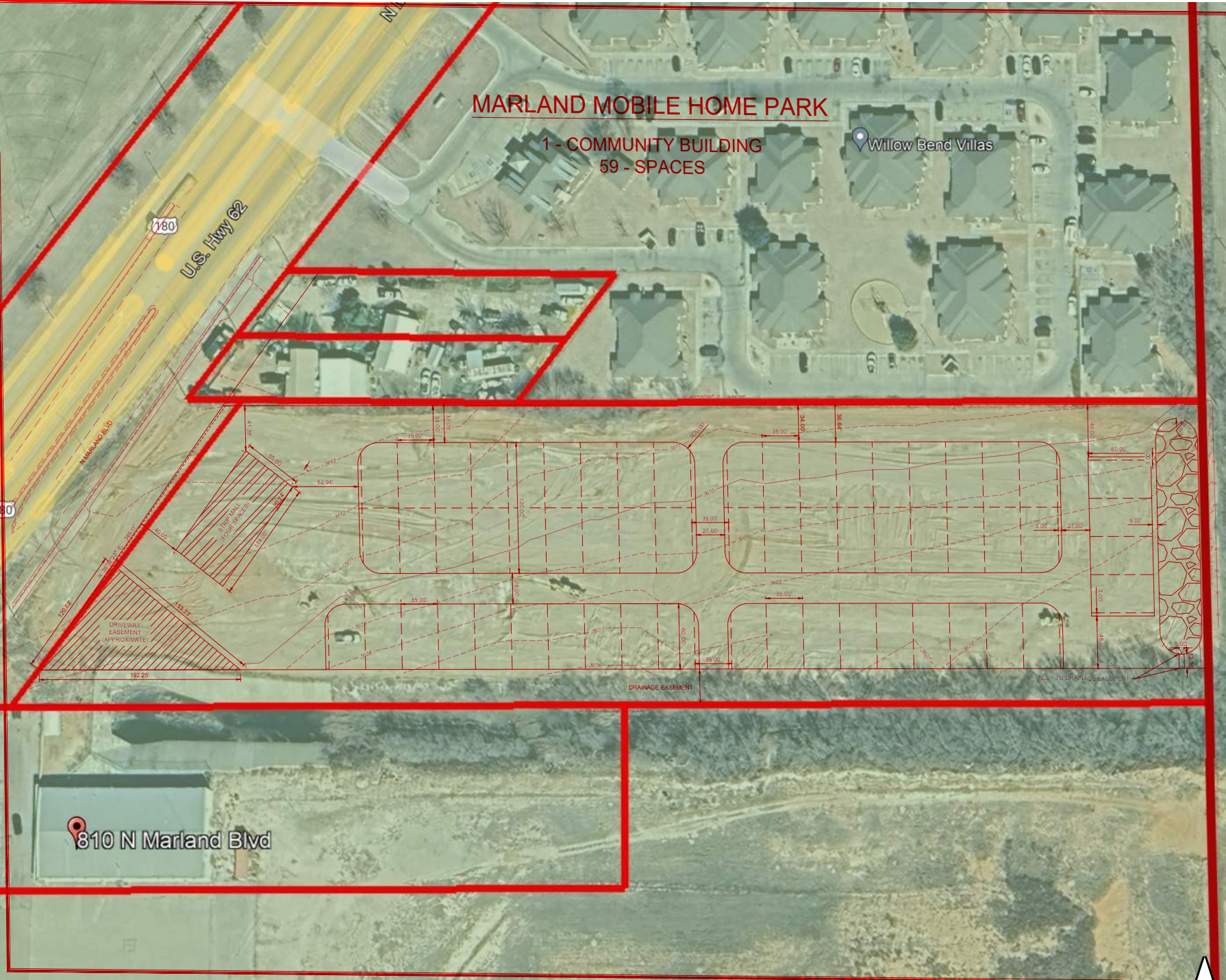
1 - COMMUNITY BUILDING
59 - SPACES

Willow Bend Villas

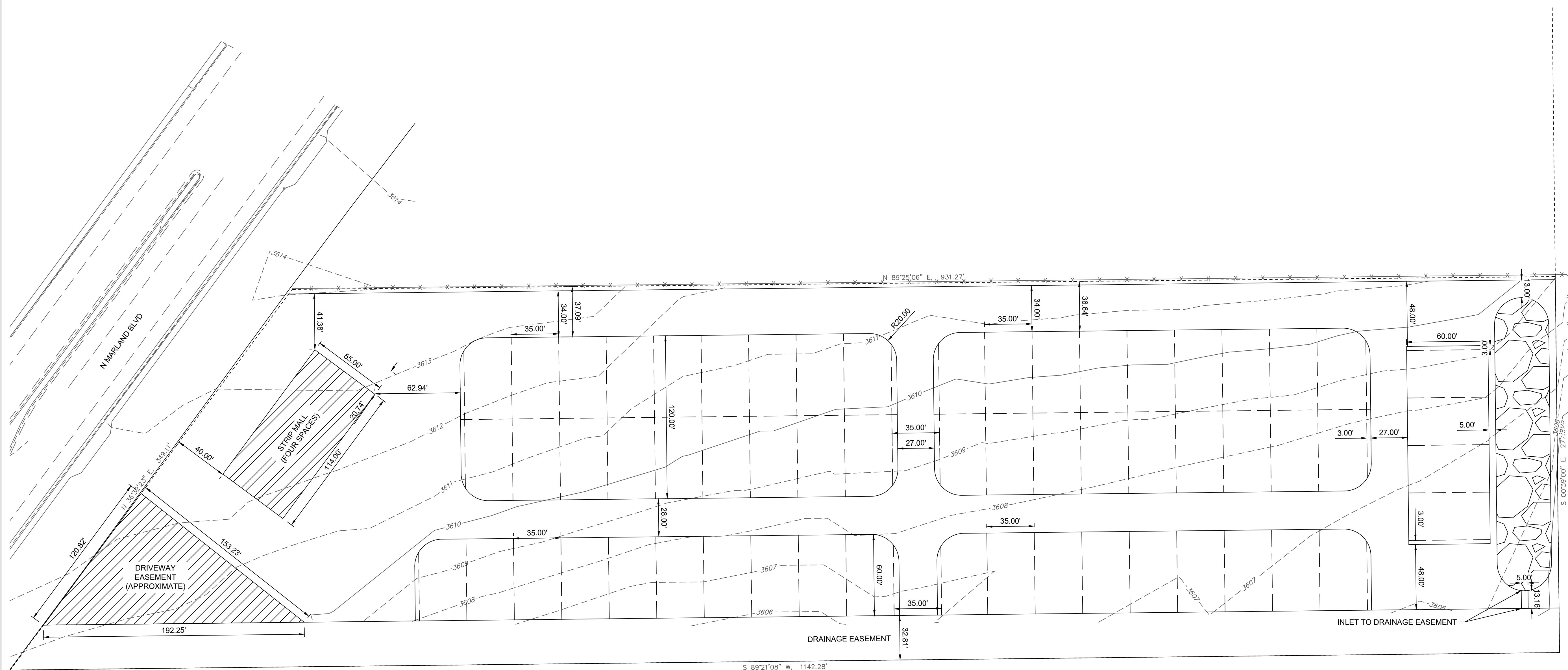
180

U.S. Hwy 62

810 N Marland Blvd



NUEVO AMANECER RV PARK
 1 - COMMERCIAL BUILDING
 59 - RV SPACES



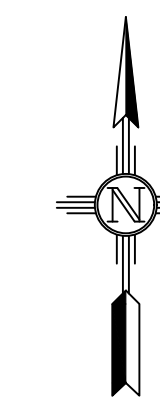
7921 N World Dr.
 Hobbs, NM 88242-9032
 Squarerootservices.net
 575-231-7347

TYPE OF SURVEY:

RV PARK
 OF
 PROJECT NAME:
 NUEVO
 AMANECER
 FOR
 CLIENT:

PROJECT NUMBER:
 24050

PROJECT ENGINEER:
 JEREMY BAKER, PE
 DRAWN BY:
 Brayden Sealy



GRAPHIC SCALE
 0 40' 80'
 SCALE: 1" = 40'
 (IN FEET)

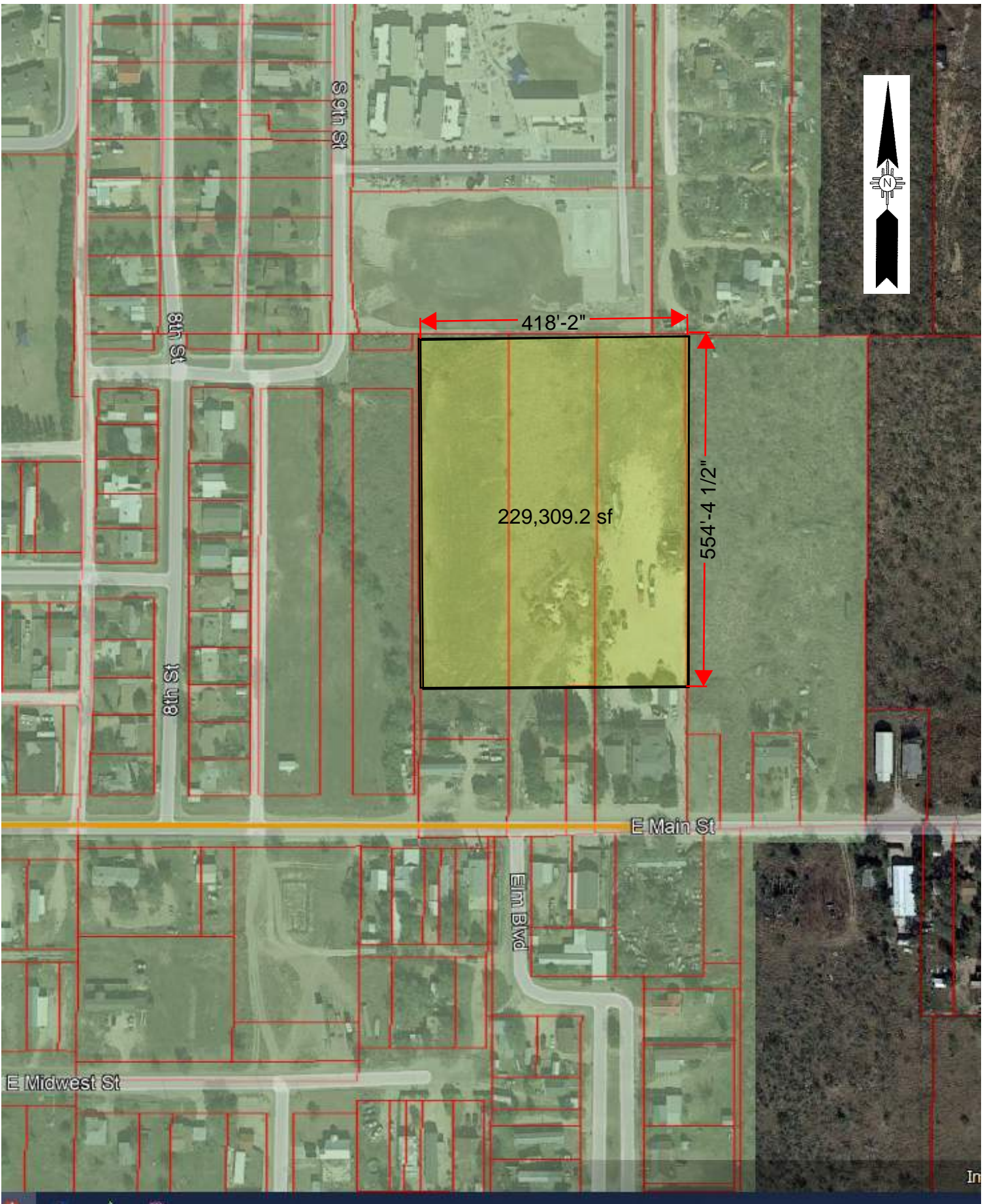
REVISIONS

No.	DATE	DESCRIPTION

PRELIMINARY

SHEET:
 1 of 2
 XX - XXX

DISCUSSION ITEM 6: EAST MAIN STREET RV PARK PROPOSAL

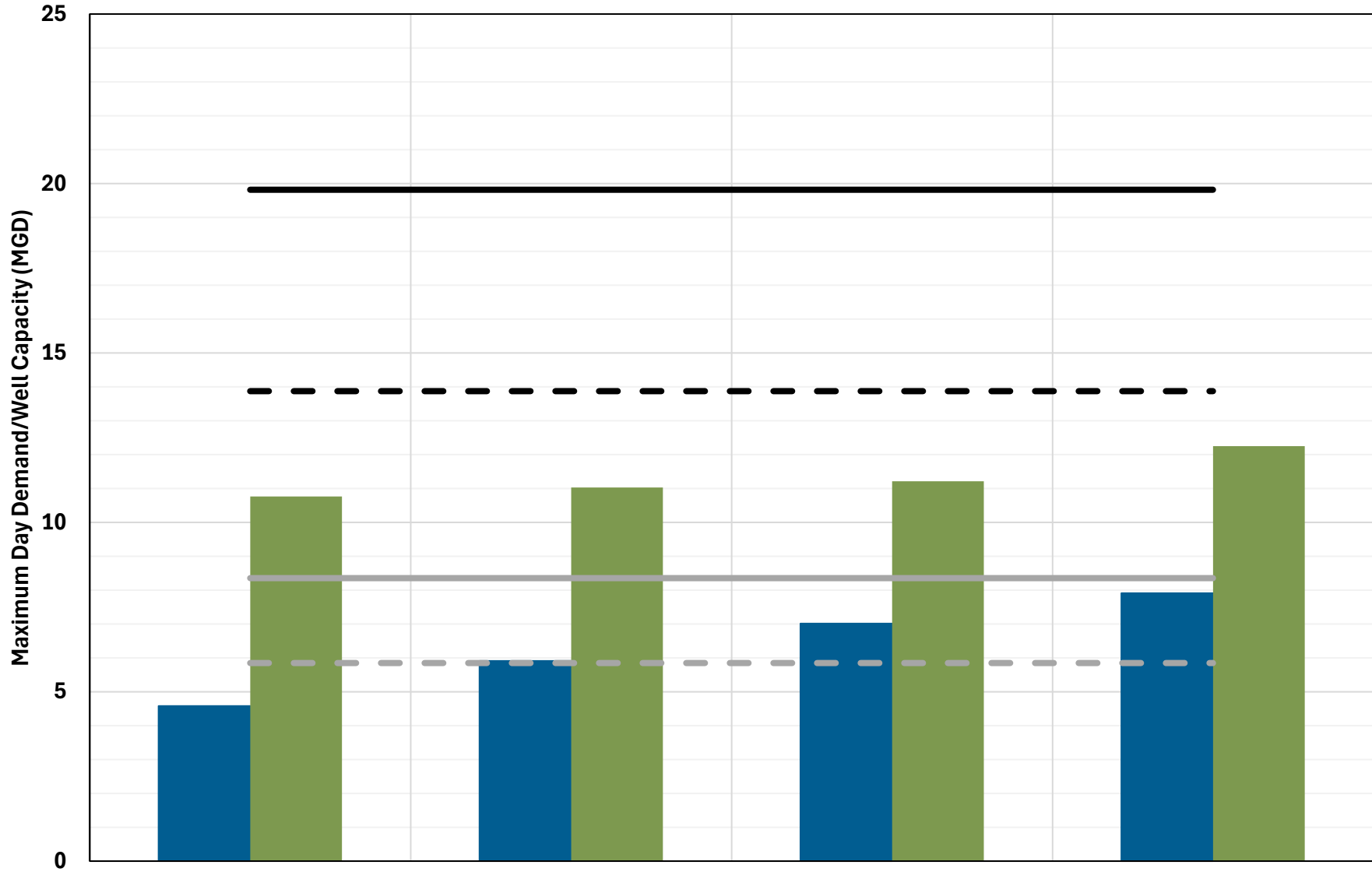


Approx +/- 5.2 acres
1702 E. Main Street
Manufactured Home / RV Park

DISCUSSION ITEM 7: WATER AND SEWER MASTERPLAN

1. Review Design Criteria
 - Well Capacity: 100% of Maximum Day Demand
 - Ground Storage Capacity: 6 Hours of Firm Capacity
 - Elevated Storage Tank: 3 Hours of Peak Hour Demand and 3,500 gpm for 3 hours
2. Future Water System Recommendations
 - North Pressure Zone
 - Ground Storage and Pumping
 - Hiap
 - 1.0 MG Additional Ground Storage
 - Hydro
 - 1.0 MG Additional Ground Storage
 - 4.0 MGD Pumping Capacity (Firm)
 - Elevated Storage
 - Decommission Existing HIAP EST
 - 2 New 0.75 MG ESTs
 - Zia
 - Millen
 - South Pressure Zone
 - Elevated Storage
 - Decommission Existing Harden EST
 - New 1.0 MG EST
 - 3 Alternative Locations

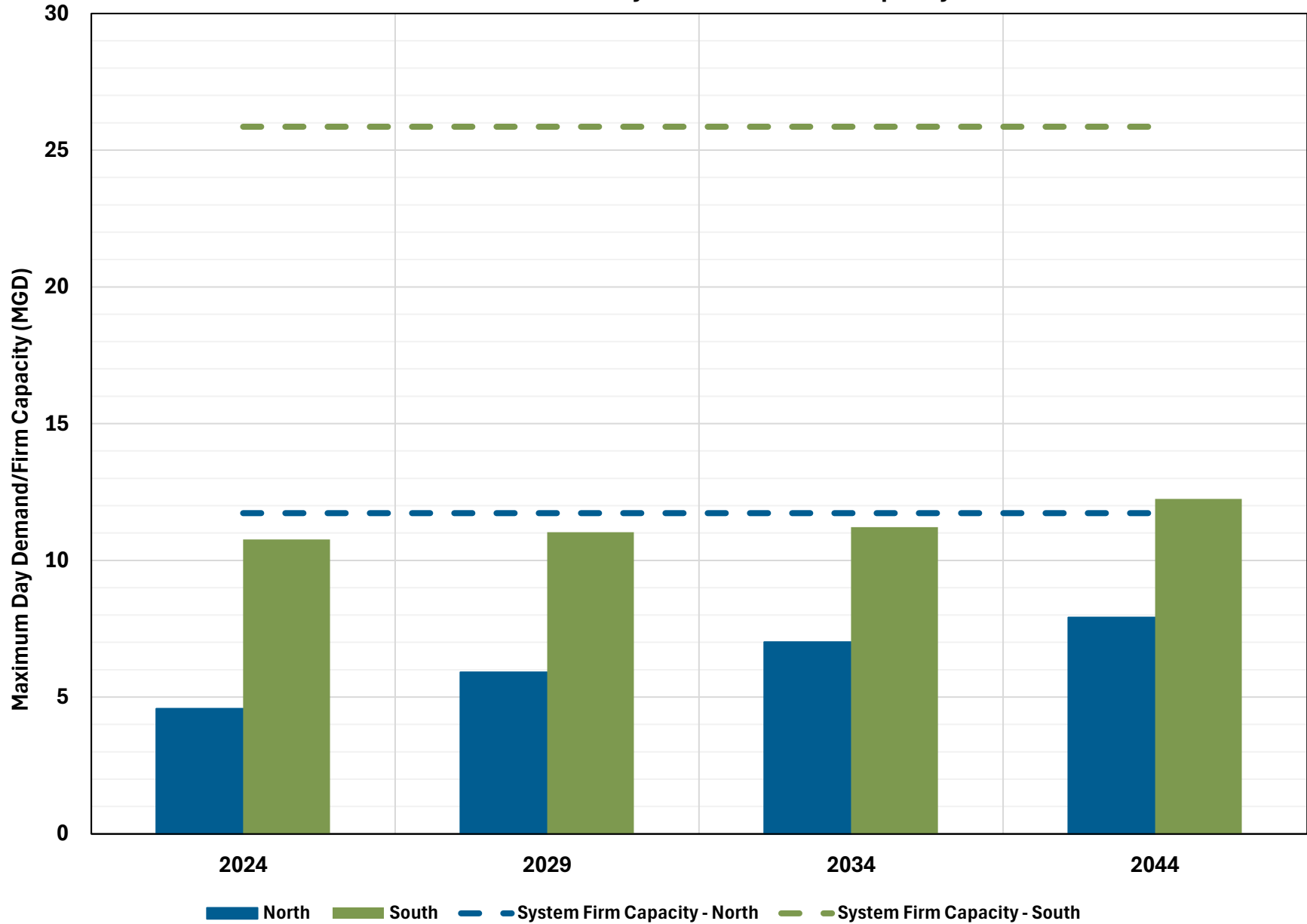
Maximum Day Demand vs. Well Capacity



North Demand
Well Capacity - North (100%)
Well Capacity - North (70%)

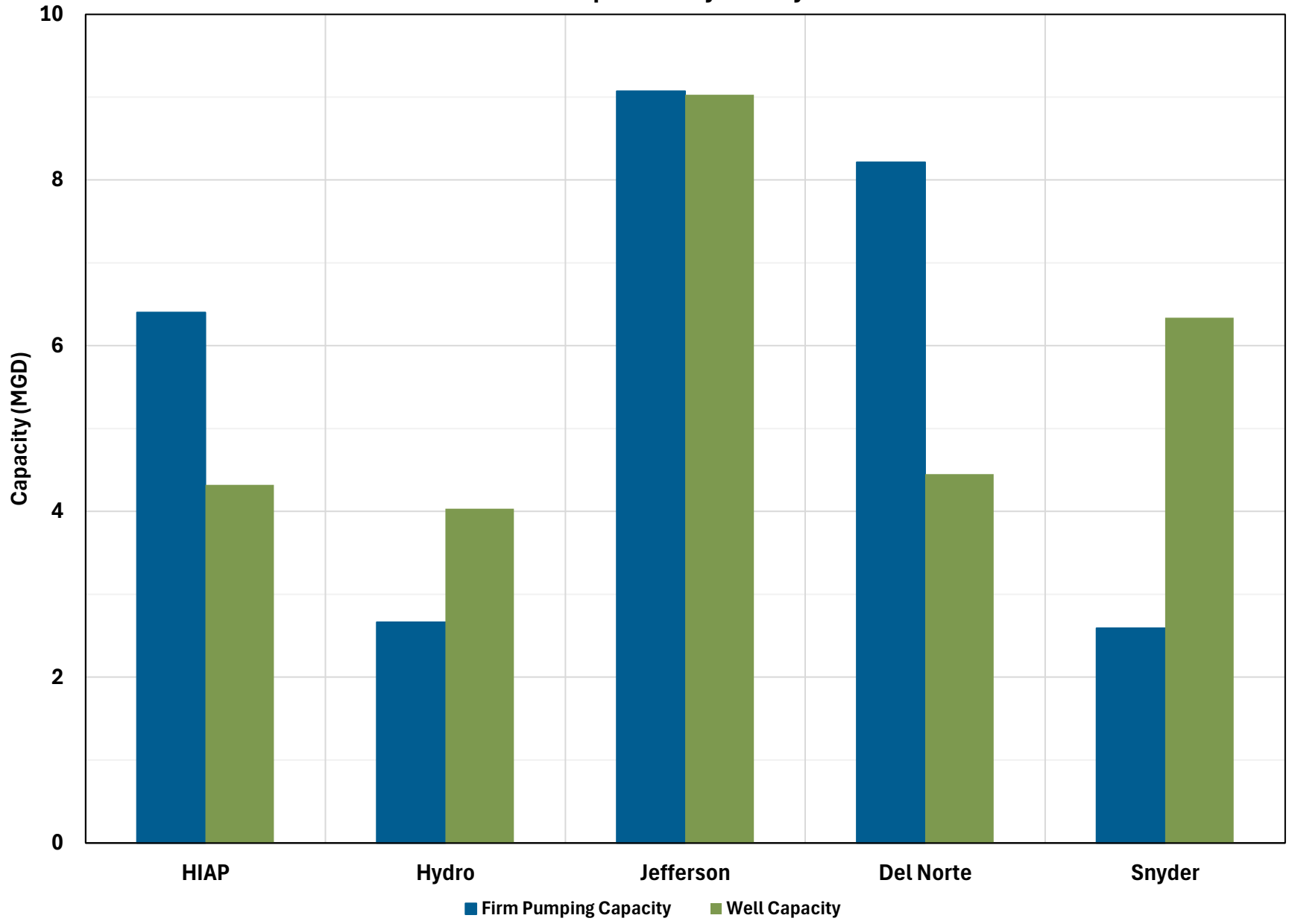
South Demand
Well Capacity - South (100%)
Well Capacity - South (70%)

Maximum Day Demand vs. Firm Capacity

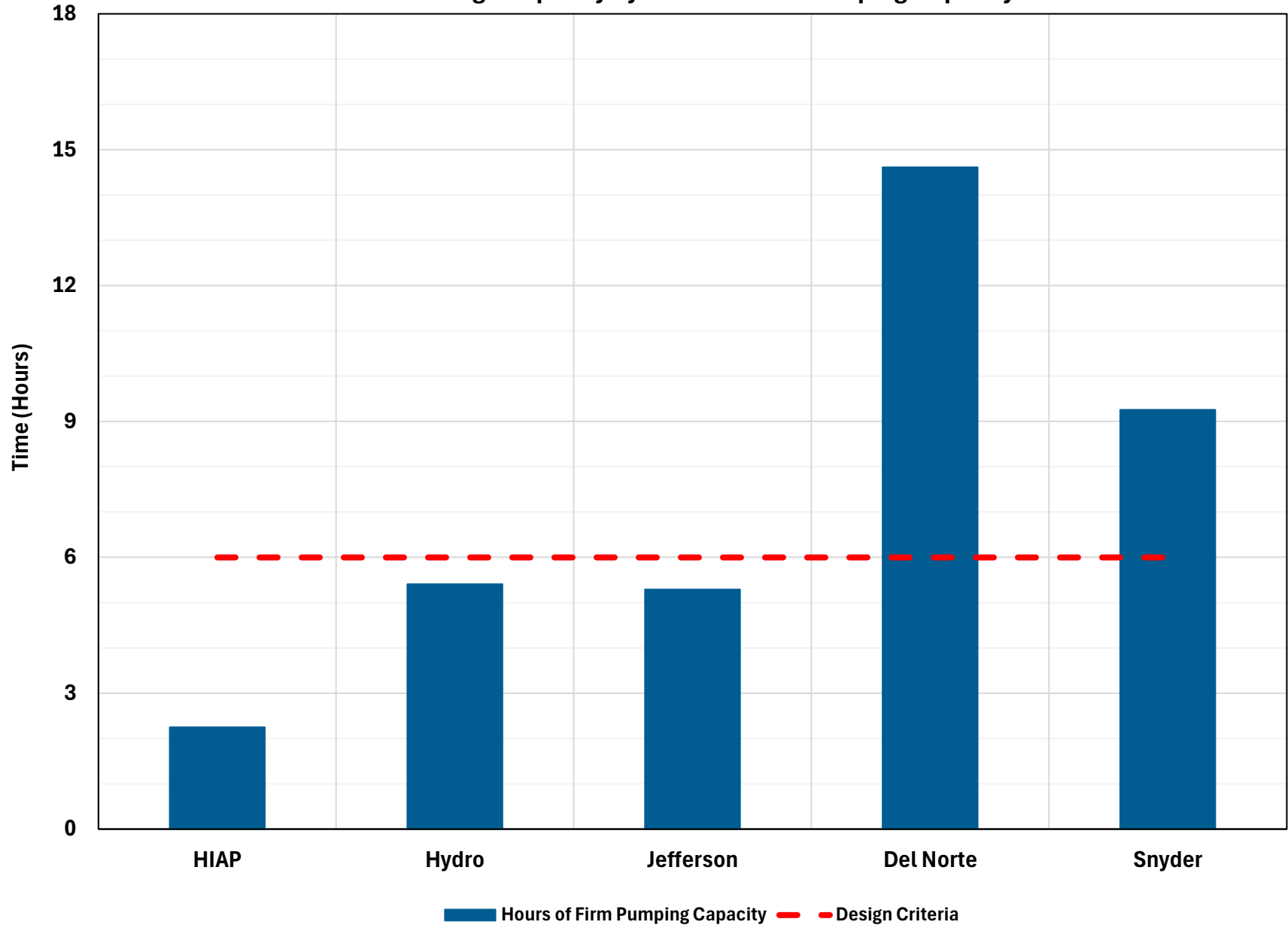


*Firm Capacity - Total station maximum pumping capacity with the largest pumping unit out of service.

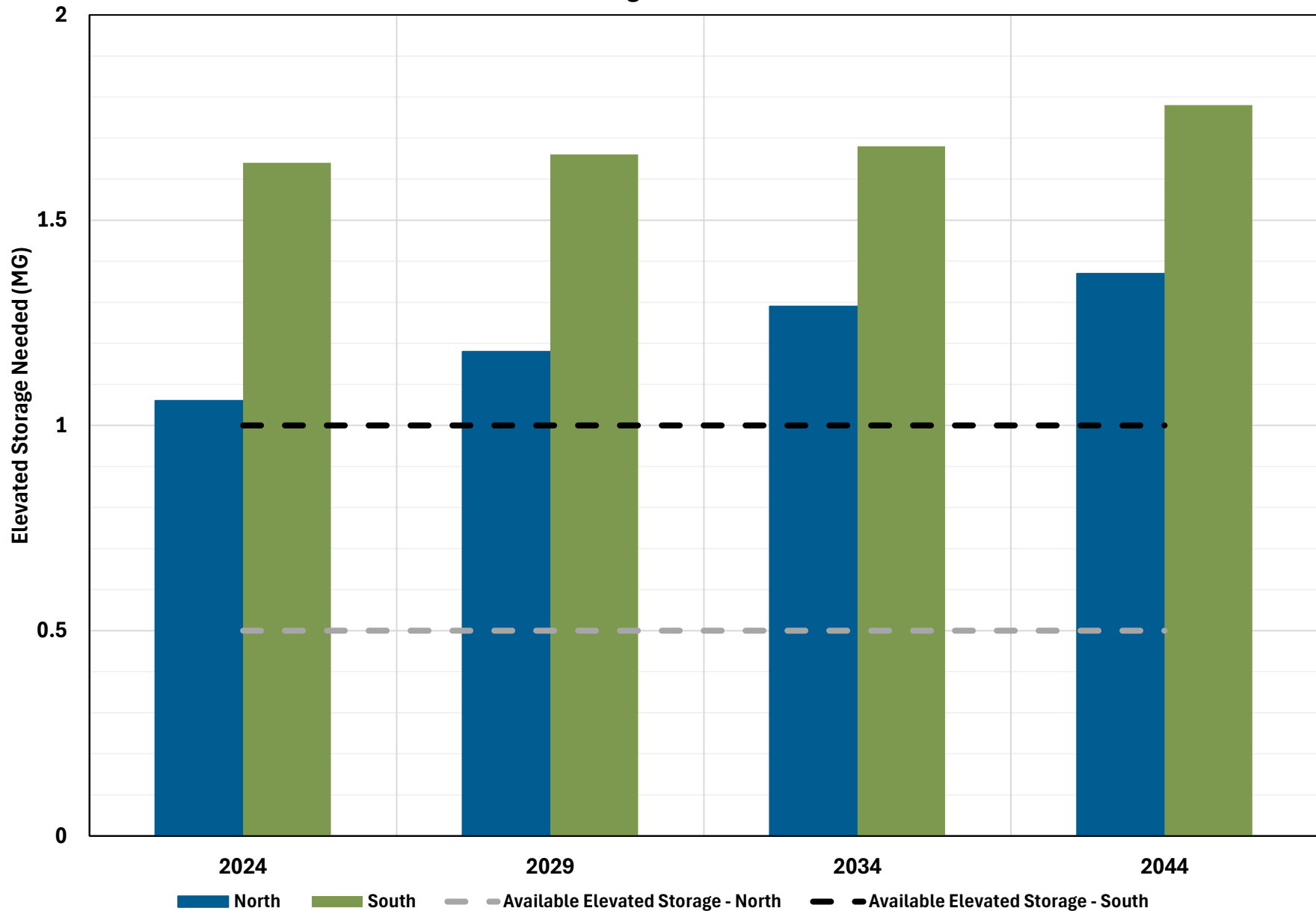
Capacities by Facility

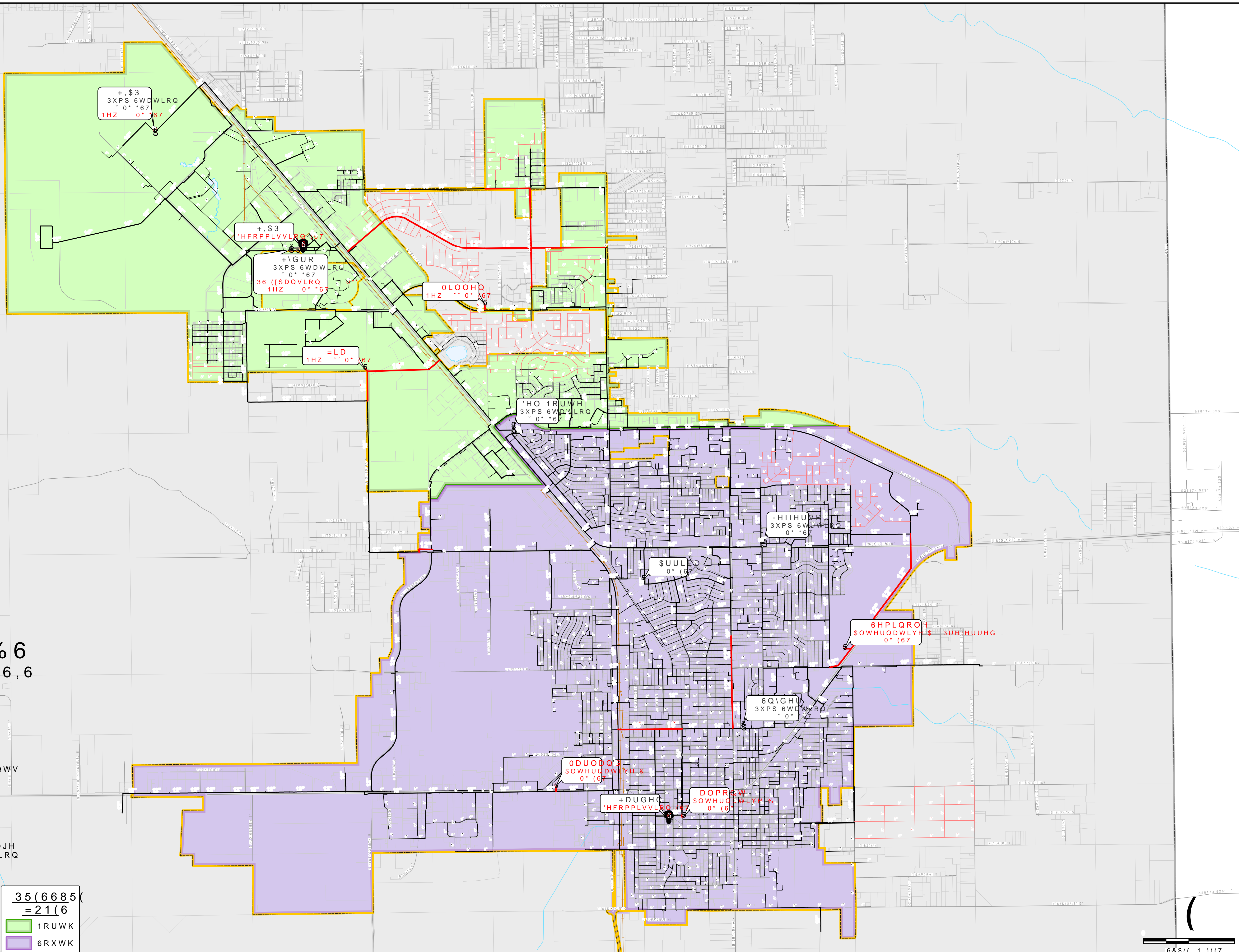


Ground Storage Capacity by Hours of Firm Pumping Capacity



Elevated Storage vs Peak Demand Volume





+ . \$3
3XPS 6WDWLRQ
0' * 67
1HZ 0' * 67

+ . \$3
HFRPPLVLRQ
36 (ISDQVLRQ
1HZ 0' * 67

+IGUR
3XPS 6WDWLRQ
0' * 67

0LOOHQ
1HZ ** 0' * 67

=LD
1HZ ** 0' * 67

HO 1RUWH
3XPS 6WDWLRQ
0' * 67

-HIIHU
3XPS 6WDWLRQ
0' * 67

SUUL
0' * 67

6HPLQRO
SOWHUQDWLYH'S
3UH'HUHG
0' * 67

6QIGHU
3XPS 6WDWLRQ
0' * 67

ODUODQ
SOWHUQDWLYH'S
0' * 67

+DUGH
HFRPPLVLRQ
0' * 67

'DOPR
SOWHUQDWLYH'S
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5RDG 3URSRVHG ,PSURYHPHQWV
3DUFHO § 3XPS 6WDWLRQ
&LW /LPLWV 5 *URXQG 6WRUDJH 7DQN
(7- 5 (OHYDWHG 6WRUDJH 7DQN
/LVWLQJ :DWHU 6LVWH 6WRUDJH 7DQN
§ 3XPS 6WDWLRQ (OHYDWHG 6WRUDJH 7DQN 'HFRPPLVLRQ
5 *URXQG & .3 :DWHU /LQH 6WRUDJH 7DQN
5 'HYHORSHU :DWHU /LQH

35(6685)
=21(6
1RUWK
6RXWK

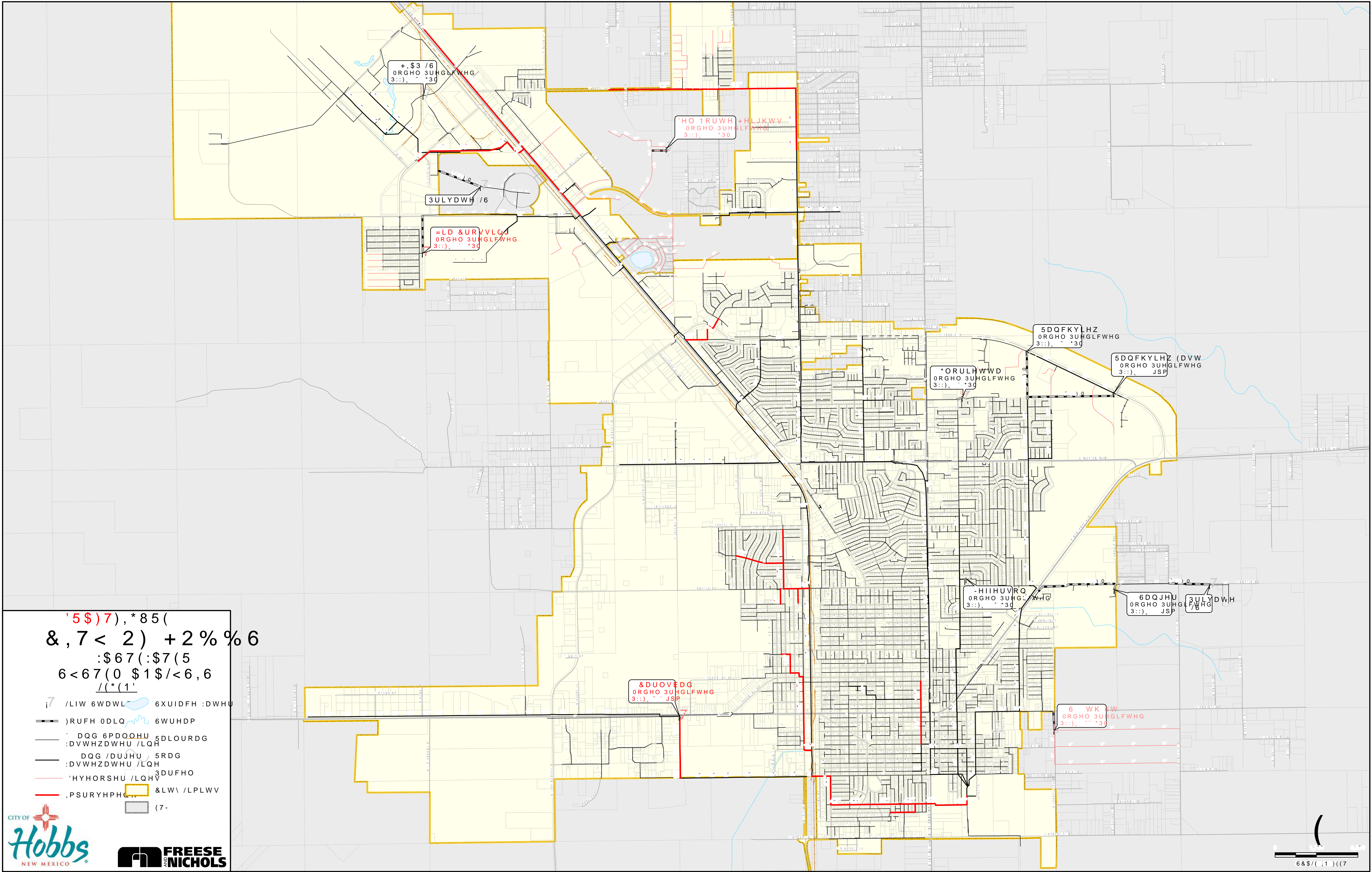
CITY OF
Hobbs
NEW MEXICO

**FREESE
AND
NICHOLS**

1. Future Wastewater Improvements Recommendations
 - Lift Stations
 - Carlsbad Lift Station: Upsize existing force main to a 12" force main.
 - Zia Crossing Lift Station: Upsize to planned future pumping capacity (0.72 MGD) per lift station design plans.
2. Improvement Criteria
 - Lift station firm capacity equal to or greater than modeled peak wet weather flow
 - Eliminate all model predicted overflows
 - Eliminate model predicted significant surcharge (within 3 feet of manhole rim)

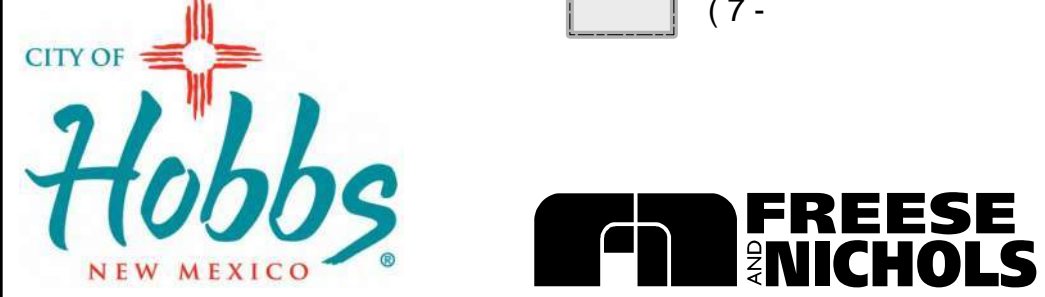
Lift Station Table

Lift Station	Number of Pumps	Existing Firm Pump Capacity (gpm)	Model Firm Pump Capacity (gpm)	Modeled Peak Wet Weather Flow (gpm)
Jefferson	2	350	590	107
Zia Crossing	2	Existing - 80	80	284
		Future - 500		284
Del Norte Heights	2	New - Developer		102
S 14th St	2	New - Developer		175
Glorietta	2	150	171	28
Ranchview	2	180	180	151
Ranchview East	2	180	271	210
Sanger	2	180	135	10
Carlsbad	2	180	368	518
HIAP	2	392	767	192



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 &, 7 < 2) + 2% % 6
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 6 < 67(0 \$1\$/<6,6
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- i7 /LIW 6WDWL 6XUIDFH :DWHU
-)RUFH 0DLQ 6WUHP
- DQG 6PDOOHU 5DLOURDG
- :DVVHZDWHU /LQH
- DQG /DUJHU 5RDG
- :DVVHZDWHU /LQH
- 'HYHORSHU /LQH
- 3DUFHO
- ,PSURYHPC &LW /LPLWV
- (7-



**ACTION ITEM 1: PLAT VACATION AND DEDICATION FOR LEA COUNTY STATE BANK
ROADWAY**

CITY OF HOBBS
UTILITY SIGN OFF SHEET
New Subdivision / Plat Revisions / Vacation Plats

Alley Vacation Plat



Subdivision: Carswell Addition / Block 190

Date Submitted: 4-4-2024

Developer/Owner: Lea County State Bank

Engineer: John West Surveying

Address/Phone: _____

Total Subdivision Acreage: _____

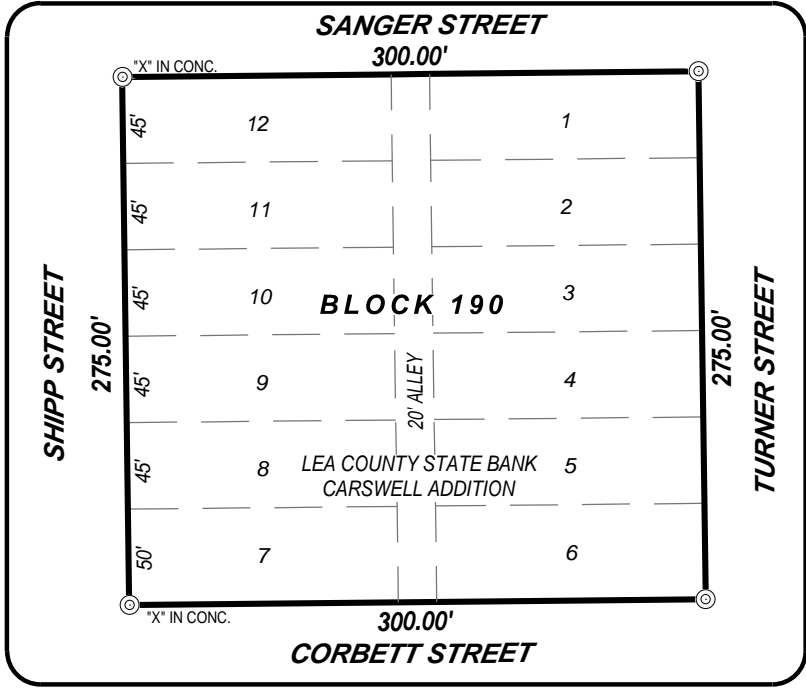
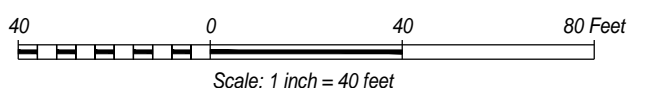
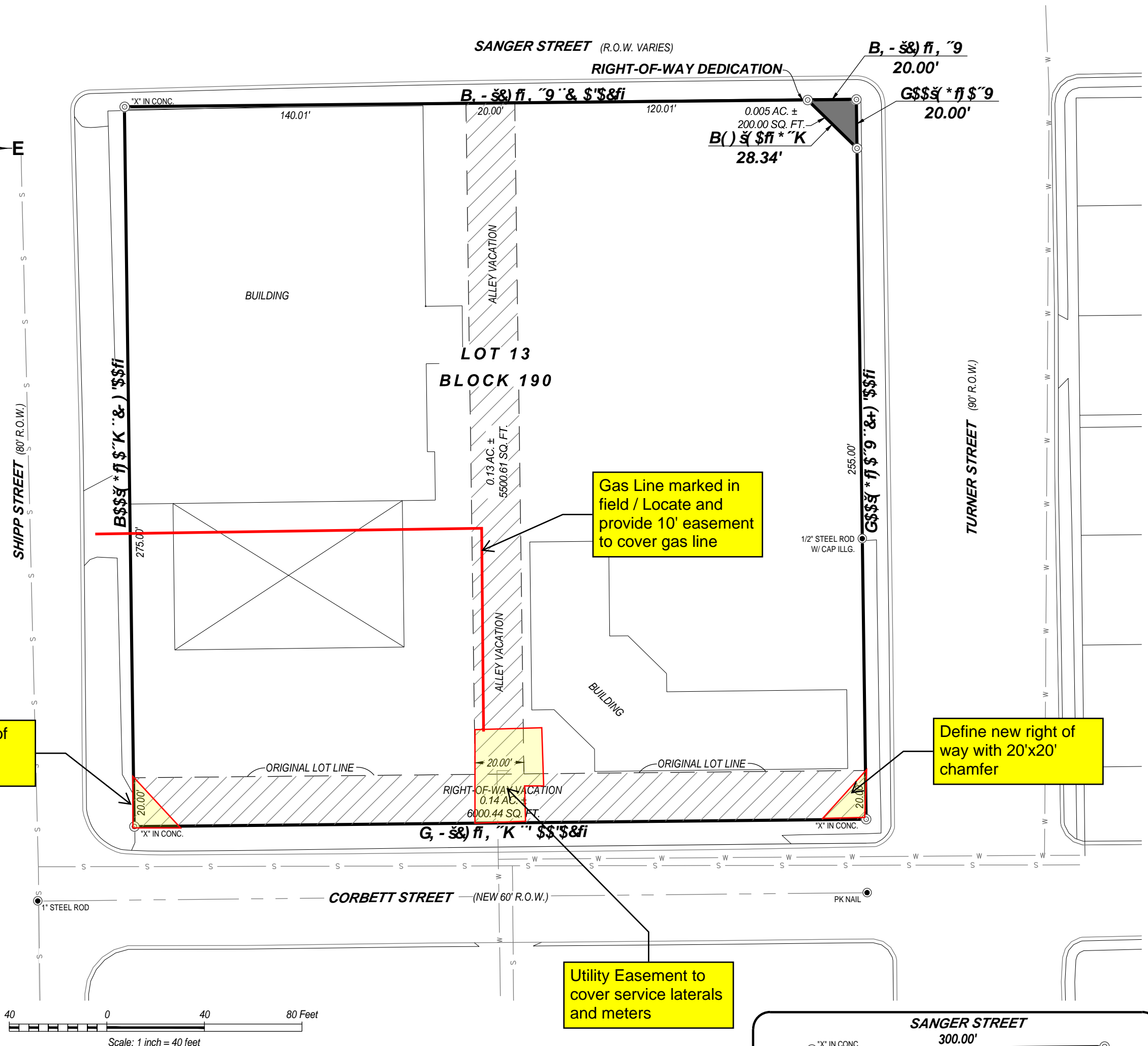
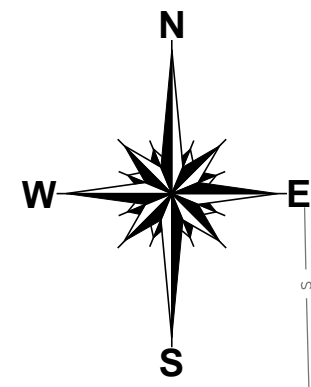
Flood Zone: No (Zone X)

City Limit Status: IN X OUT _____

<u>UTILITY</u>	<u>Representative</u>	<u>Approved</u>	<u>Comment</u>
<u>Xcel Energy (Elec)</u>			
<u>Zia Gas Co. (Natural Gas)</u>			
<u>Windstream (Tele / Data)</u>			
<u>Leaco (Tele / Data)</u>			
<u>TDS (Cable / Data)</u>			
<u>Waste Management (Sanitation)</u>			
<u>City Engineering Dept.</u>		<div style="border: 1px solid red; padding: 2px; width: fit-content; margin: 0 auto;"> APPROVED CITY OF HOBBS ENGINEERING DEPARTMENT <small>DATE: 04/04/2024 2:50:03 PM</small> </div>	
<u>City Utility Dept.</u>		<div style="border: 1px solid red; padding: 2px; width: fit-content; margin: 0 auto;"> APPROVED CITY OF HOBBS UTILITIES DEPARTMENT <small>DATE: 04/04/2024 4:05:31 PM</small> </div>	
<u>City Fire Dept.</u>			
<u>US Postal Service</u>			

Revisions, Recommendations, Objections: _____

PRELIMINARY - APRIL 04, 2024
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.



SUMMARY REPLAT, ALLEY/PARTIAL STREET VACATION, AND DEDICATION, BLOCK 190, CARSWELL ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO

REPLAT OF LOTS 1-12, DEDICATION OF STREET RIGHT OF WAY, VACATION OF ALLEY WITHIN BLOCK 190 AND VACATION OF ADJACENT PORTION OF CORBETT STREET RIGHT OF WAY ALL WITHIN CARSWELL ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO INTO LOT 13, BLOCK 190, CARSWELL ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO.

SAID PROPERTY IS BEING REPLATTED AND DEDICATED AS THE SAME APPEARS HEREON WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) THEREOF, WITH THE RIGHT-OF-WAY AS SHOWN BEING DEDICATED TO THE PUBLIC.

DICKIE WALL, PRESIDENT
LEA COUNTY STATE BANK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2024 A.D. BY DICKIE WALL.

NOTARY PUBLIC

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THIS REPLAT, VACATION AND DEDICATION PLAT REVIEWED AND APPROVED THE _____ DAY OF _____, 2024 A.D. BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2024 A.D. BY WILLIAM M. HICKS III.

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL APPROVAL:

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING STREET RIGHT-OF-WAY VACATION, ALLEY VACATION, AND STREET RIGHT-OF-WAY DEDICATION OF A PORTION OF CORBETT STREET AND WITHIN BLOCK 190, CARSWELL ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION NO. _____ ON THE _____ DAY OF _____, 2024 A.D.

JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT:

STATE OF NEW MEXICO
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2024 A.D. BY JAN FLETCHER.

NOTARY PUBLIC

LEGEND:

- ⊙ - DENOTES SET NAIL WITH WASHER MARKED "NM 12641 TX 4735", UNLESS NOTED OTHERWISE
- - DENOTES FOUND MONUMENT AS NOTED

SURVEYOR'S CERTIFICATE:

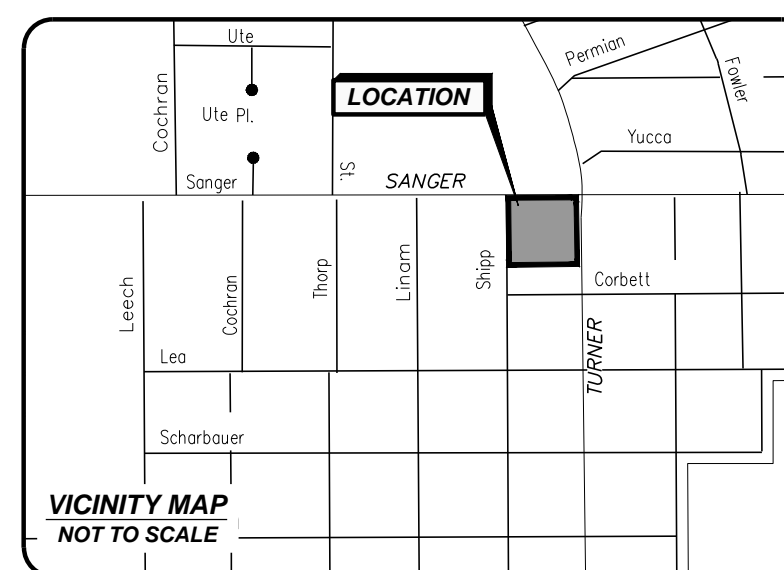
I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



NOTE:

- 1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. THE CONVERGENCE ANGLE TO TRUE NORTH IS 00°39'07.5" BASED ON A POINT OF ORIGIN LOCATED AT (NMSPC) N: 622241.67' E: 912535.99' ESTABLISHED FROM GPS OBSERVATIONS AND SUBSEQUENT NGS OPUS PROCESSING. DISTANCES ARE SURFACE VALUES.
- 2) DATE OF SURVEY: MARCH 19, 2024.
- 3) UTILITY LOCATIONS SHOWN HEREON ARE FROM OBSERVED EVIDENCE AND INFORMATION PROVIDED BY THE CITY OF HOBBS ENGINEERING DEPARTMENT. ACTUAL LOCATIONS SHOULD BE VERIFIED.

PROVIDING SURVEYING SERVICES SINCE 1946
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO HOBBS, N.M. 88240
(575) 393-3117 www.jwsc.biz
TBPLS# 10021000



Scale: One Inch = Forty Feet
CAD Drafter & Date: ACK - 4/04/2024
Checked By: EP
JWSC W.O. No.: 24110076
JWSC File No.: D - 1503
© 1/2024/24110076 LCSB REPLAT, VACATION, DEDICATION/DRAFTING

STATE OF NEW MEXICO
COUNTY OF LEA - FILED:

ACTION ITEM 2: DEDICATION PLAT FOR ADELL DRIVE

MILLEN & ADELL DRIVE DEDICATIONS

LOCATED IN THE SW1/4 OF SECTION 8, AND NW1/4 OF SECTION 17, T18S, R38E, N.M.P.M., CITY OF HOBBS,
LEA COUNTY, NEW MEXICO

PETTIGREW & ASSOCIATES PA
ENGINEERING | SURVEYING | TESTING
DEFINING QUALITY SINCE 1965
100 E. Navajo - Suite 100, Hobbs New Mexico 88240
T 575 393 9827 F 575 393 1543
Pettigrew.us

PROJECT SURVEYOR:
W.M. Hicks III, PE/PS
DRAWN BY:
E. Roybal, K. Bolivar



INDEXING INFORMATION FOR COUNTY CLERK
OWNER:
Covenant Health System
LOCATION:
SW1/4 of Section 8, NW1/4 of Section 17,
Township 18 South, Range 38 East,
N.M.P.M., Lea County, New Mexico

REVISIONS

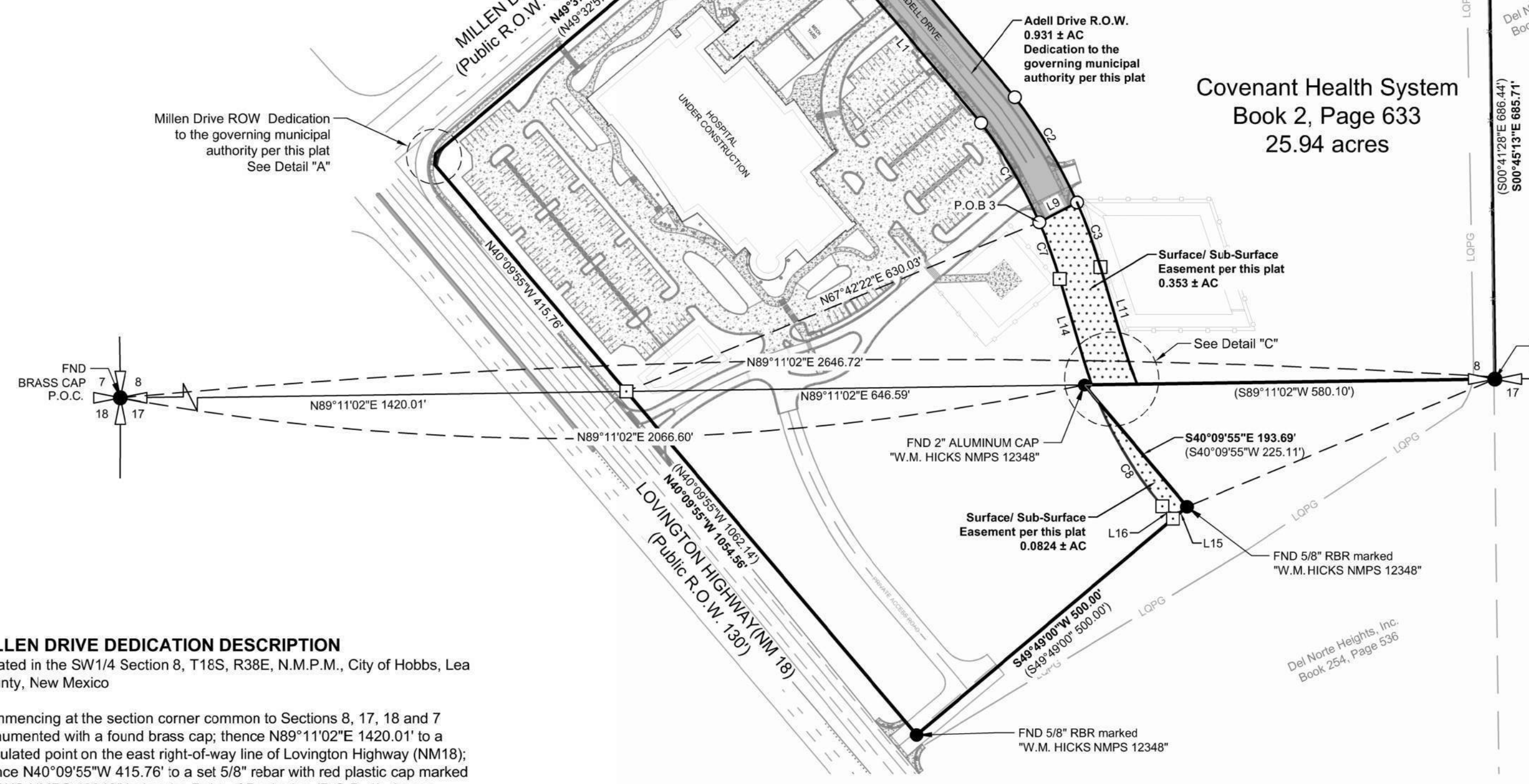
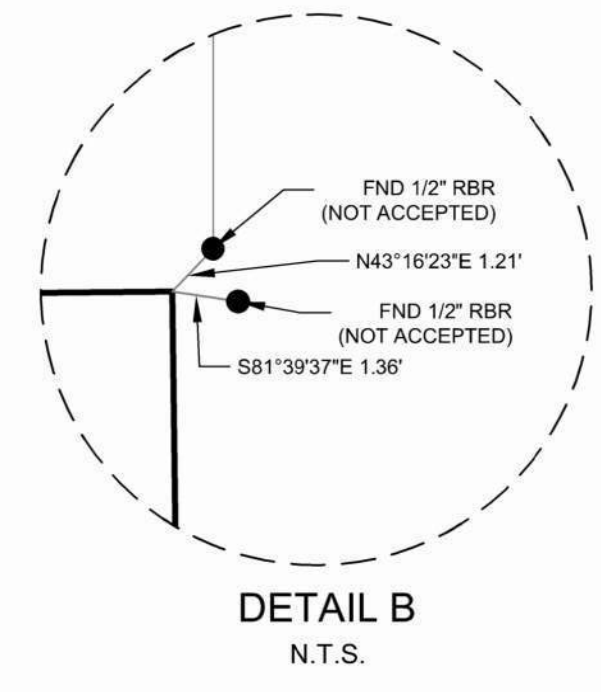
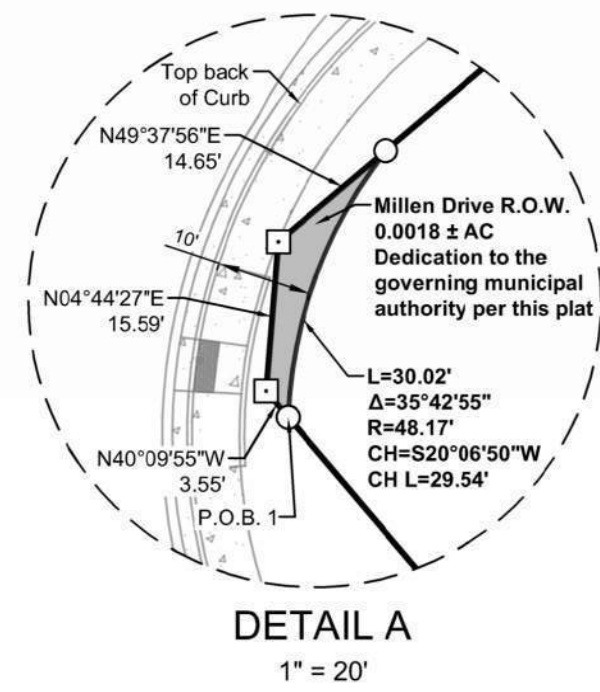
No.	DATE	DESCRIPTION

State of New Mexico, County of _____
I here by certify that this instrument was filed for record on:
The _____ Day of _____,
20 ____ A.D.
At _____ O'Clock _____ M.
Cabinet _____ Slide _____
Book _____ Page _____
By _____
County Clerk
By _____
Deputy

RIGHT-OF-WAY OF MILLEN & ADELL DRIVE DEDICATION FOR Covenant Health System

PROJECT NUMBER:
2020.1075

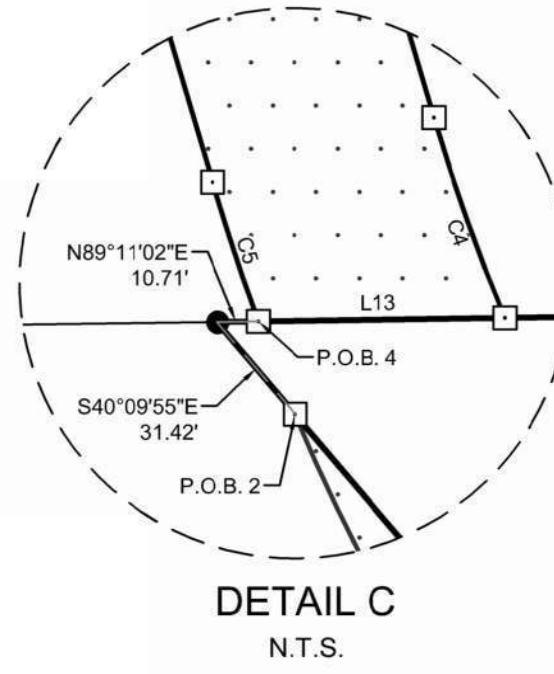
SHEET: 1 of 2
SU - 101



MILLEN DRIVE DEDICATION DESCRIPTION
Located in the SW1/4 Section 8, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico
Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence N40°09'55"W 415.76' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" being the Point of Beginning (P.O.B. 1); thence N04°09'55"W 3.55' to a calculated point; thence N04°44'27"E 15.59' to a calculated point; thence N49°37'56"E 14.65' to a point on a curve, a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence southerly 30.02' along a curve to the left with a delta of 35°42'55", a radius of 48.17' and whose long chord bears S20°06'50"W 29.54' to the Point of Beginning.

Said tract containing 0.0018± acres.
With the free consent and in accordance with the desires of the undersigned owners and proprietors thereof said tract shall be dedicated to the public as described.

BASIS OF BEARING
The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as derived by GPS/GNSS observations. Ground coordinates were obtained from the State Plane Coordinate System by scaling about a control point located at N32°45'20.88652", W103°10'29.32727" by a ground scale factor of 1.00011780158173. True north can be obtained by applying a convergence angle of 0°37'28" at the Section Corner Brass Cap.

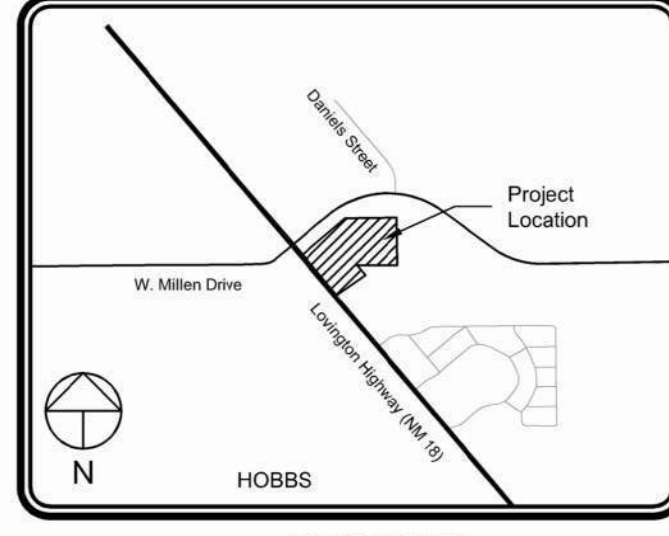


Curve Table

Curve #	Length	Delta	Radius	Chord Bearing	Chord Distance
C1	163.13'	13°39'18"	684.50'	N30°19'49"W	162.75'
C2	172.93'	13°18'30"	744.50'	S30°30'13"E	172.54'
C3	97.19'	7°28'47"	744.50'	N20°06'34"W	97.12'
C4	55.37'	6°11'40"	512.20'	N19°26'54"W	55.35'
C5	38.12'	3°49'02"	572.20'	S18°15'36"E	38.12'
C7	85.22'	7°07'59"	684.50'	S19°56'10"E	85.16'
C8	173.34'	17°21'25"	572.20'	N31°26'57"W	172.68'

Line Table

Line #	Bearing	Length
L1	N40°11'34"W	272.57'
L2	N45°46'43"W	69.34'
L3	N40°22'13"W	103.99'
L4	N85°22'09"W	28.28'
L5	N49°37'56"E	61.00'
L6	N89°29'51"E	153.48'
L7	S49°37'56"W	92.22'
L8	S40°10'32"E	288.95'
L9	S62°12'19"W	60.16'
L11	N16°21'05"W	118.19'
L13	N89°11'48"E	64.07'
L14	S16°21'05"E	118.17'
L15	S49°49'00"W	26.18'
L16	N40°07'39"W	23.01'



LEGEND

- Found monument as noted
- Set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"
- Calculated point
- ⊕ Found section corner
- ⊙ Found quarter section corner
- Section line
- - - Fence line
- Property line
- Right of Way line
- ▬ R.O.W. Dedication per this Plat
- ▨ Easement per this Plat
- XX°XX'XX" XX.XX' Measured bearing and distance
- (XX°XX'XX" XX.XX') Record bearing and distance per Covenant Consolidation Plat Book 2, Page 633

ADELL DRIVE DEDICATION DESCRIPTION

Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence N67°42'22"E 630.03' to point on a curve being a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" being the Point of Beginning (P.O.B. 3); thence northwesterly 163.13' along a curve to the left with a delta of 13°39'18", a radius of 684.50' and whose long chord bears N30°19'49"W 162.75' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N40°11'34"W 272.57' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N45°46'43"W 69.34' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N40°22'13"E 103.99' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N85°22'09"W 28.28' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N49°37'56"E 61.00' to a found 1/2" rebar with cap marked "JWS"; thence S40°22'04"E 81.62' to a found 1/2" rebar with cap marked "JWS"; thence N89°29'51"E 153.48' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S49°37'56"W 92.22' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S40°10'32"E 288.95' to a point on a curve being a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence southerly 172.93' along a curve to the right with a delta of 13°18'30", a radius of 744.50' and whose long chord bears S30°30'13"E 172.54' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S62°12'19"W 60.16' to the point of beginning.

Said tract containing 0.931 ± acres.

With the free consent and in accordance with the desires of the undersigned owners and proprietors thereof said tract shall be dedicated to the public as described.

SURFACE/ SUB-SURFACE EASEMENT DESCRIPTION

Located in the SW1/4 of Section 8 and NW1/4 of Section 17, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico

Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence N89°11'02"E 646.59' to a found 2" aluminum cap marked "W.M.HICKS NMPS 12348"; thence S40°09'55"E 31.42' to a calculated corner being the Point of Beginning (P.O.B. 2); thence S40°09'55"E 193.69' to a found 5/8" rebar marked "W.M.HICKS NMPS 12348"; thence S49°49'00"W 26.18' to a calculated point; thence N40°07'39"W 23.01' to a point on a curve, a calculated point; thence northerly 173.34' along a curve to the right with a delta of 17°21'25", a radius of 572.20', and whose long chord bears N31°26'57"W 172.68' to the Point of Beginning (P.O.B. 2).

Said tract containing 0.0824 ± acres.

Together with:

Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence N89°11'02"E 646.59' to a found 2" aluminum cap marked "W.M.HICKS NMPS 12348"; thence N89°11'02"E 10.71' to a calculated point being the Point of Beginning (P.O.B. 4); thence N89°11'48"E 64.07' to a calculated point; thence northerly 55.37' along a curve to the right with a delta of 6°11'40", a radius 512.20', and whose long chord bears N19°26'54"W 55.35' to a calculated point; thence N16°21'05"W 118.19' to a point on a curve, a calculated point; thence northerly 97.19' along a curve to the left with a delta of 7°28'47", a radius of 744.50', and whose long chord bears N20°06'34"W 97.12' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S62°12'19"W 60.16' to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence southerly 85.22' along a curve to the right with a delta of 7°07'59", a radius of 684.50', and whose long chord bears S19°56'10"E 85.16' to a calculated point; thence S16°21'05"E 118.17' to a point on a curve, a calculated point; thence southerly 38.12' along a curve to the left with a delta of 3°49'02", a radius of 572.20', whose long chord bears S18°15'36"E 38.12' to the Point of Beginning (P.O.B. 4).

Said tract containing 0.353 ± acres.

With the free consent and in accordance with the desires of the undersigned owners and proprietors thereof said tract shall be dedicated to the public as described.

CERTIFICATE OF SURVEY

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Dedication Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Dedication Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

William M. Hicks, III NMPS #12348

Date

OWNERS STATEMENT AND AFFIDAVIT

State: _____
County: _____

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the platting jurisdiction of City of Hobbs.

COVENANT HEALTH SYSTEM,
a Texas nonprofit corporation

By _____
John A. Grigson, Chief Financial Officer

ACKNOWLEDGMENT

State: _____
County: _____

On this _____ day of _____, 20____, before me, John A. Grigson to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: _____

Notary Public

CERTIFICATE OF MUNICIPAL APPROVAL

I, Kevin Robinson, Development Director for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this _____ day of _____, 20____.

Kevin Robinson, Development Director

Jan Fletcher, City Clerk

ACKNOWLEDGMENT

State of New Mexico:
County of Lea:

On this _____ day of _____, 20____, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: _____

Notary Public



PETTIGREW & ASSOCIATES PA
ENGINEERING | SURVEYING | TESTING
DEFINING QUALITY SINCE 1965
100 E. Navajo - Suite 100, Hobbs New Mexico 88240
T 575 393 9827 F 575 393 1543
Pettigrew.us

PROJECT SURVEYOR: W.M. Hicks III, PE/PS
DRAWN BY: K. Bolivar



PRELIMINARY

INDEXING INFORMATION FOR COUNTY CLERK

OWNER:
Covenant Health System

LOCATION:
SW1/4 of Section 8, NW1/4 of Section 17, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico

REVISIONS

No.	DATE	DESCRIPTION

State of New Mexico, County of _____, I here by certify that this instrument was filed for record on:

The _____ Day of _____, 20____ A.D.

At _____ O'Clock _____M.

Cabinet _____ Slide _____

Book _____ Page _____

By _____, County Clerk

By _____, Deputy

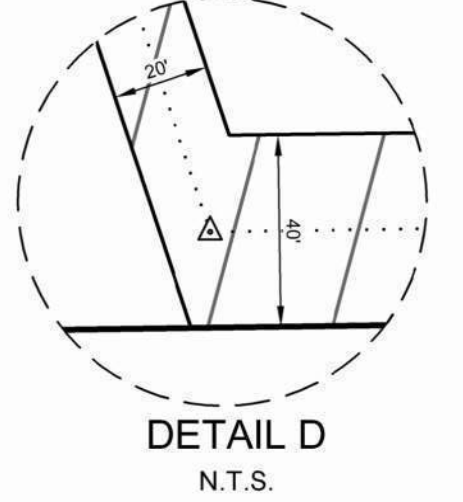
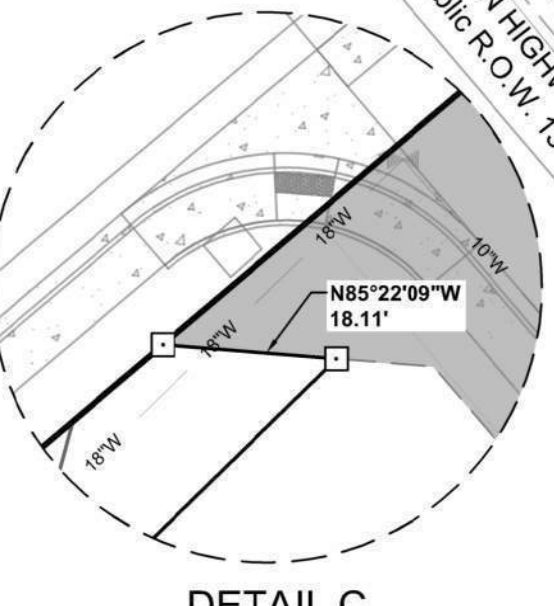
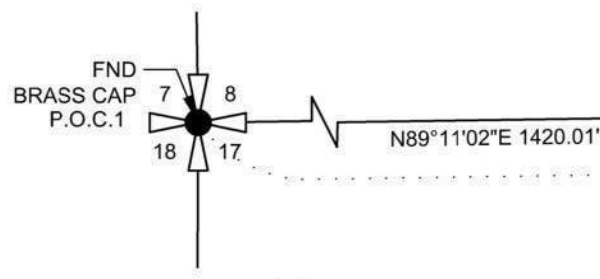
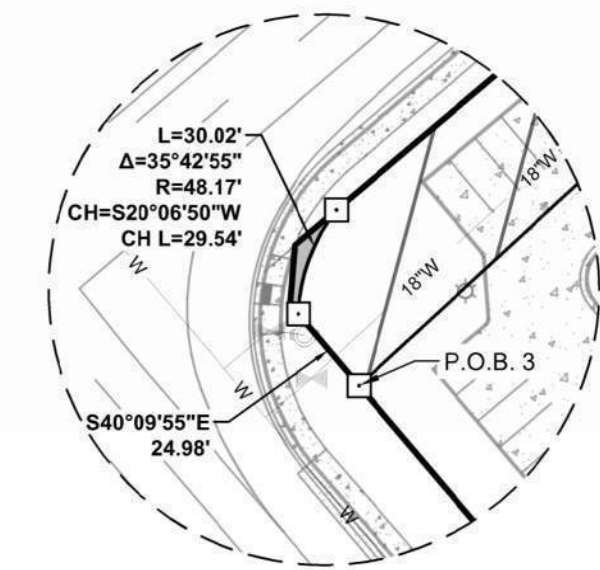
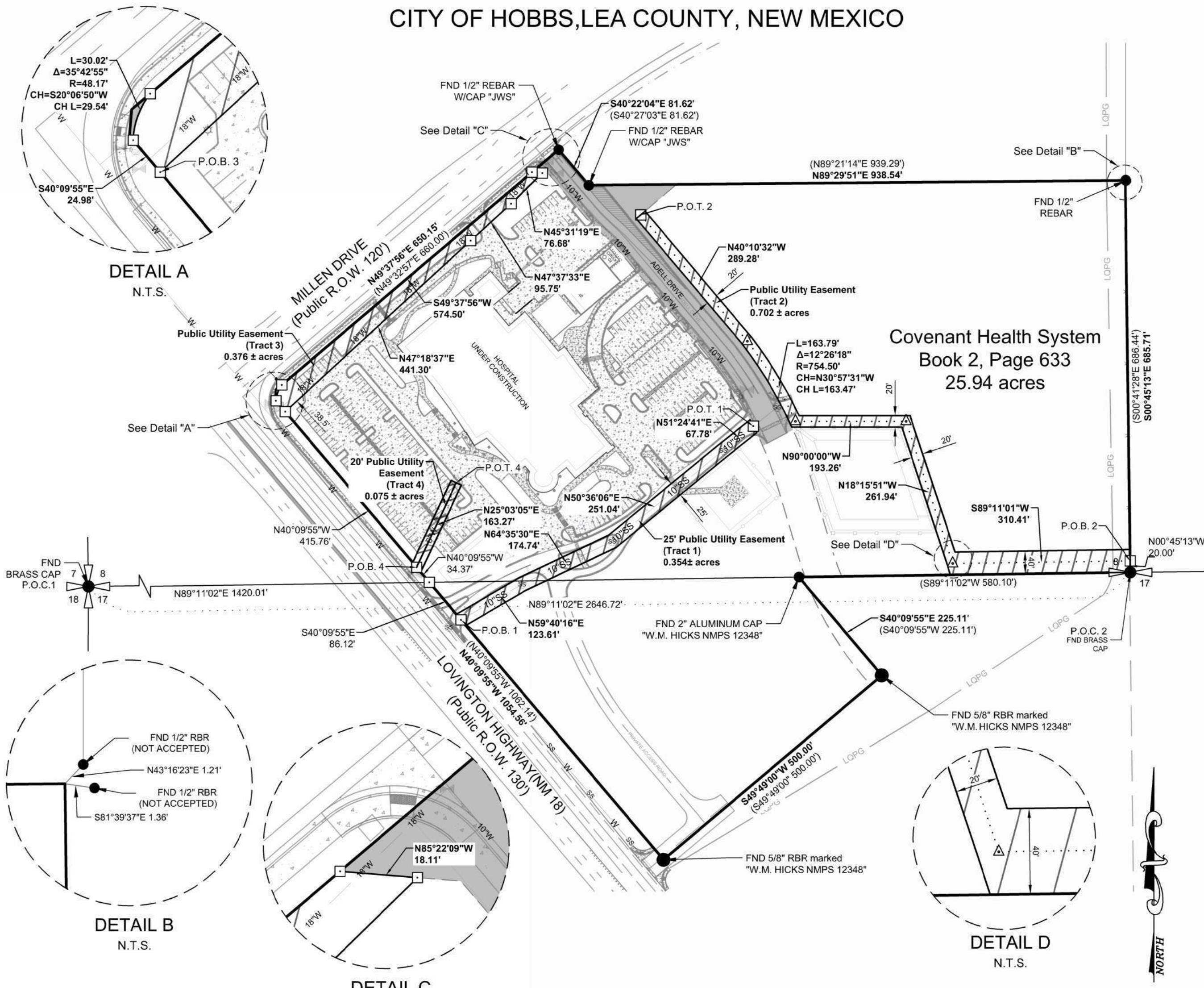
RIGHT-OF-WAY OF MILLEN & ADELL DRIVE DEDICATION FOR Covenant Health System

PROJECT NUMBER:
2020.1075

SHEET: 2 of 2
SU - 102

UTILITY EASEMENT SURVEY

LOCATED IN THE SW1/4 OF SECTION 8, AND NW1/4 OF SECTION 17, T18S, R38E, N.M.P.M.
CITY OF HOBBS, LEA COUNTY, NEW MEXICO



CERTIFICATE OF SURVEY

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Easement Survey was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Easement Survey and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico, and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act.

William M. Hicks, III NMPS #12348

Date

BASIS OF BEARING

The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as derived by GPS/GNSS observations. Ground coordinates were obtained from the State Plane Coordinate System by scaling about a control point located at N32°45'20.88652", W103°10'29.32727" by a ground scale factor of 1.00011780158173. True north can be obtained by applying a convergence angle of 0°37'28" at the Section Corner Brass Cap.

25' PUBLIC UTILITY EASEMENT (TRACT 1) DESCRIPTION

One (1) easement crossing portions of the Covenant Health System property in Book 2, Page 633, being 25 feet wide and extending at right angles 12.5 feet on each side of the centerline herein described, with the easement lines lengthening and shortening to eliminate gaps and overlaps at angle points and points where the centerline intersects section lines, property boundaries, right-of-way's and other easements, being more particularly described as follows:

Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence S40°09'55"E 86.12 feet along the east right-of-way line of NM18 to a calculated point being the Point of Beginning (P.O.B. 1); thence N59°40'16"E 123.61 feet along the centerline to an angle point; thence N64°35'30"E 174.74 feet along the centerline to an angle point; thence N50°36'06"E 251.04 feet along the centerline to an angle point; thence N51°24'41"E 67.78 feet along the centerline to the Point of Termination (P.O.T.1) on the west right of way line of Adell Drive.

Easement contains 0.354 acres, more or less.

PUBLIC UTILITY EASEMENT (TRACT 2) DESCRIPTION

One (1) easement crossing portions of the Covenant Health System property in Book 2, Page 633, variable in width and extending at right angles on each side of the centerline herein described, with the easement lines lengthening and shortening to eliminate gaps and overlaps at angle points and points where the centerline intersects section lines, property boundaries, right-of-way's and other easements, being more particularly described as follows:

Commencing at the quarter corner common to Sections 8 and 17 monumented with a found brass cap; thence N00°45'13"E 20.00' to a calculated point being the Point of Beginning (P.O.B. 2); thence S89°11'01"W 310.41 feet along the centerline, being 40 feet wide, 20 feet on each side, to an angle point from which this easement changes in width to 20 feet wide, being 10 feet on each side of the continued centerline; thence N18°15'51"W 261.94 feet along the centerline to an angle point; thence N90°00'00"W 193.26 feet along the centerline to a point on a curve; thence northwesterly 163.79 feet along a curve to the left with a delta of 12°26'18", a radius of 754.50 feet and whose long chord bears N30°57'31"W 163.47' to a point of tangency; thence N40°10'32"W 289.28 feet along the centerline to a calculated point being the Point of Termination (P.O.T. 2) on the right of way line of Adell Drive.

Easement contains 0.702 acres, more or less.

PUBLIC UTILITY EASEMENT (TRACT 3) DESCRIPTION

That part of one easement crossing portions of the Covenant Health System property in Book 2, Page 633.

Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence N40°09'55"W 415.76 feet along the east right-of-way line of NM18 to a calculated point being the Point of Beginning (P.O.B. 3); thence N47°18'37"E 441.30' to a calculated point; thence N47°37'33"E 95.75' to a calculated point; thence N45°31'19"E 76.68' to the west right of way line of Adell Drive; thence N85°22'09"W 18.11' along the west right of way line of Adell Drive to a calculated point on the south right of way line of Millen Drive; thence S49°37'56"W 574.50' along the south right of way line of Millen Drive to a calculated point; thence southerly 30.02' along a curve to the left with a delta of 35°42'55", a radius of 48.17', whose long chord bears S20°06'50"W 29.54' to a calculated point; thence S40°09'55"E 24.98' to the Point of Beginning (P.O.B. 3).

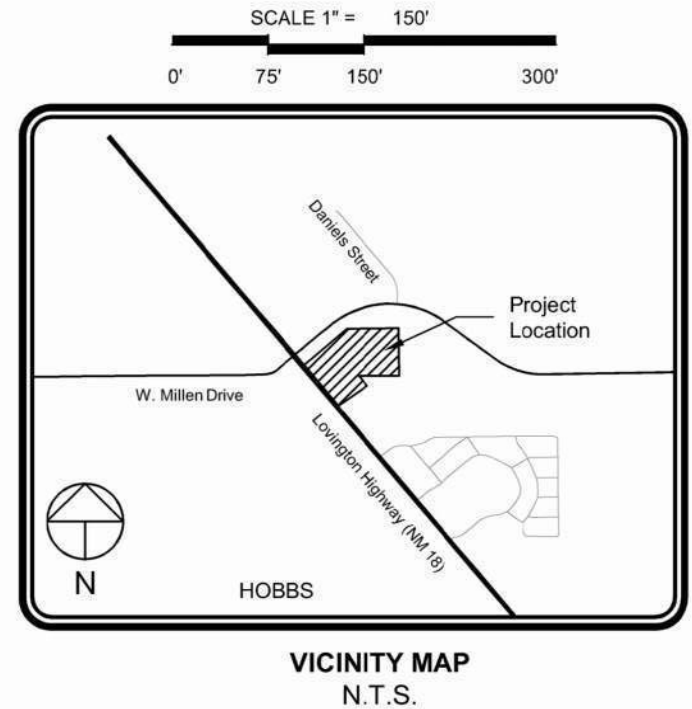
Easement contains 0.376 ± acres.

20' PUBLIC UTILITY EASEMENT (TRACT 4) DESCRIPTION

One (1) easement crossing portions of the Covenant Health System property in Book 2, Page 633, being 20 feet wide and extending at right angles 10 feet on each side of the centerline herein described, with the easement lines lengthening and shortening to eliminate gaps and overlaps at angle points and points where the centerline intersects section lines, property boundaries, right-of-way's and other easements, being more particularly described as follows:

Commencing at the section corner common to Sections 8, 17, 18 and 7 monumented with a found brass cap; thence N89°11'02"E 1420.01' to a calculated point on the east right-of-way line of Lovington Highway (NM18); thence N40°09'55"W 34.37' to a calculated point on the east right-of-way line of Lovington Highway (NM18) being the Point of Beginning (P.O.B. 4); thence N25°03'05"E 163.27' to the Point of Termination.

Easement contains 0.075 acres, more or less.



LEGEND	
	Found monument as noted
	Calculated point
	Found section corner
	Found quarter section corner
	Sanitary Sewer Manhole
	Water Valve
	Fire Hydrant
	Existing Main Sewer Line
	10" Sanitary Sewer Line
	Existing Main Water Line
	6" Water Line
	18" Water Line
	Section line
	Fence line
	Property line
	R.O.W. Dedication
	Easement Centerline
	Utility Easement per this Plat
	Measured bearing and distance
	Record bearing and distance per Covenant Consolidation Plat
	Book 2, Page 633

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PROJECT SURVEYOR: W.M. Hicks III, PE/PS
DRAWN BY: E. Roybal, K. Bolivar

WILLIAM M. HICKS III
NEW MEXICO
REGISTERED PROFESSIONAL SURVEYOR
12348
PRELIMINARY

INDEXING INFORMATION FOR COUNTY CLERK
OWNER: Covenant Health System
LOCATION: SW1/4 of Section 8, NW1/4 of Section 17, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico

REVISIONS		
No.	DATE	DESCRIPTION

State of New Mexico, County of _____
I here by certify that this instrument was filed for record on:
The _____ Day of _____,
20 ____ A.D.
At _____ O'Clock _____ M.
Cabinet _____ Slide _____
Book _____ Page _____
By _____
County Clerk
By _____
Deputy

EASEMENT SURVEY OF COVENANT UTILITY EASEMENTS FOR Covenant Health System

PROJECT NUMBER: 2020.1075

SHEET: 1 of 1
SU - 101